



Site Development and Design Review Staff Report and Recommendation

Community Development Department, Planning Division

REPORT DATE: January 10, 2022

HEARING DATE: January 18, 2022

LAND USE REQUEST: Site development and design review for remodeling the Forest Grove City Hall and construction of an adjacent development services annex.

FILE NUMBER: 311-21-000051-PLNG

PROPERTY LOCATION: 1924 and 1928 Council Street

LEGAL DESCRIPTION: Washington County Tax Lot 1S306BB10000

OWNER/APPLICANT(S): Owner: City of Forest Grove

Applicant: City of Forest Grove and FFA Architecture + Interiors

**COMPREHENSIVE PLAN
MAP AND ZONING MAP
DESIGNATIONS:** Town Center Transition/Town Center Transition

**APPLICABLE
STANDARDS
AND CRITERIA:** Development Code §17.2.350 (Design Review)
Development Code §17.2.450 (Site Development Review)

REVIEWING STAFF: Daniel Riordan, Senior Planner

RECOMMENDATION: Staff recommends the Planning Commission approve the applicant's design and site development review application with the staff proposed conditions of approval.

REPORT CONTENTS

- I. Project Description
- II. Required Approvals
- III. Analysis and Conclusions
- IV. Proposed Conditions of Approval
- V. Planning Commission Alternatives
- VI. Staff Recommendation
- VII. List of Exhibits

I. PROJECT DESCRIPTION

The City is planning to remodel the current City Hall building and replacing the existing Engineering Division building with a new two-story development services annex. The combined the City Hall remodel and development services annex will total approximately 15,500 square feet. Planning Commission review is required for commercial structures larger than 10,000 square feet.

Notable features of the design include zero-lot construction with the front building facades adjacent to the Council Street. The City Hall building will remain largely untouched on the exterior except for the addition of a canopy and a new entry area meeting Americans with Disabilities Act (ADA) requirements. A new sign for the City Hall will be integrated with the canopy, and incorporates silhouette backlighting. The sign will be made of extruded aluminum and be painted dark bronze to match the canopy and metal on the façade.

The new development services annex includes large windows intended to provide an open feel and visual interest to the streetscape. The design incorporates an entrance separate from City Hall. The façade incorporates brick masonry and vertical elements to define windows consistent with building in the downtown.

Both the City Hall building and Engineering Division building are located in the Town Center Transition zone. New construction in the Town Center Transition zone are subject to the Town Center design standards (Track 1) or design guidelines (Track 2). The design guidelines establish general requirements and are intended to allow design flexibility. In contrast, the design standards provide less discretion and are intended to be clear and objective. The applicant requested the project be reviewed based on the applicable design guidelines.

The existing City Hall and Engineering Office building façade are shown below followed by proposed façade for the City Hall and development services annex.

Existing City Hall Facade



Existing Engineering Office Facade



Proposed Facade



II. REQUIRED APPROVALS

The project is subject to the City's design review and site development review criteria. The criteria are listed below.

Design Review Criteria (Development Code §17.2.350)

Projects subject to design review by the Director (Type II) or the Design Review Commission (Type III) shall be evaluated based on the following:

- A. The development standards of the applicable zoning district and any overlay district
- B. The general development standards of Development Code Article 8
- C. Departures from code requirements may be permitted as part of a Track 2 Design Review Process, when the following criteria are met:
 - i. The design guidelines contained in the applicable section of the Design Guideline Handbook are adequately addressed.
 - ii. The applicant demonstrates that the overall development would result in a development that better meets the intent of the design guidelines than a design that simply meets the code.

Site Development Review (Development Code §17.2.450)

- A. The site development plan complies with all applicable standards of the base zoning district, any overlay district and applicable general development standards of Article 8.
- B. The site development plan ensures reasonable compatibility with surrounding uses as it relates to the following factors:
 - i. Building mass and scale do not result in substantial visual and privacy impacts to nearby residential properties; and
 - ii. Proposed structures, parking lots, outdoor use areas or other site improvements that could cause substantial off-site impacts such as noise, glare and odors are oriented away from nearby residential uses and/or adequately mitigated through other design techniques.
- C. The site development plan preserves or adequately mitigates impacts to unique or distinctive natural features including, but not limited to:
 - i. Significant on-site vegetation and trees
 - ii. Prominent topographic features, and
 - iii. Sensitive natural resource areas such as wetlands, creek corridors and riparian areas.
- D. The site development plan preserves or adequately mitigates impacts to designated historic resources.
- E. The site development plan provides adequate right-of-way and improvements to abutting streets to meet the street standards of the city. This may include, but not be limited to, improvements to the right-of-way, sidewalks, bikeways and other facilities needed because of anticipated vehicular and pedestrian traffic generation.
- F. The site development promotes safe, attractive and usable pedestrian facilities that connect building entrances, public sidewalks, bicycle and auto parking spaces, transit facilities and other parts of a site or abutting properties that may attract pedestrians.

III. ANALYSIS AND CONCLUSIONS

The staff analysis and conclusions addressing the applicable review criteria are described in Exhibit D.

IV. PROPOSED CONDITIONS OF APPROVAL

The following conditions of approval are proposed to ensure the application meets the applicable review requirements.

GENERAL

1. The applicant is bound to the project description and all representations made by the applicant during the application and decision-making proceeding.
2. The applicant must comply with all applicable building and development standards, including public works specifications.
3. All utility connections shall be underground (DC §10.8.645(A) *Underground Utilities*).
4. The applicant shall install a stand-alone flagpole or pole affixed to the building to properly display the United States flag, Oregon state flag, and National League of families' POW/MIA flag as required by Oregon Department of Administrative Services requirements for municipal facilities constructed after January 1, 2018.
5. The applicant shall install at least one bicycle rack providing at least two bicycle parking spaces on either the City Hall site or in the public parking lot across from City Hill on Council Street.
6. The applicant shall replace the street tree shown on the building plan set dated December 21, 2021, with a variety identified on the City's Suggested Street List in the small or medium category. A tree variety not included on the Suggested Street List may be planted with Community Forestry Commission approval.
7. Building addresses shall be legible and placed in a position that is visible from Council Street. Numbers shall be of colors contrasting with the surface upon which the numbers are affixed and be at least four inches in height.

LANDSCAPING

8. The applicant shall provide planting specifications for the planter areas adjacent to City Hall in the final building permit plan set and prior to issuance of any building permits.

SIGNS

9. The applicant shall apply for a sign permit for the City Hall canopy sign shown on the building plan set dated December 12, 2021. The sign shall not exceed 15% of the face of building to which the sign is attached.

V. PLANNING COMMISSION ALTERNATIVES

The following alternatives are available to the Planning Commission:

- Alternative 1: Approve the applicant's design and site development review application as submitted by the applicant.
- Alternative 2: Approve the applicant's design and site development review application with the staff proposed conditions of approval.

- Alternative 3: Approve the applicant's design and site development review application with conditions of approval other than those proposed by staff to ensure that the applicable review criteria are met.
- Alternative 4: Request additional information from the applicant to address specific application review criteria and continue the public hearing to a day and time certain.

VI. STAFF RECOMMENDATION

Staff recommends the Planning Commission select Alternative 2 above and approve the applicant's design and site development review application with the staff proposed conditions of approval.

VII. LIST OF EXHIBITS

The following exhibits were received, marked, and entered into the record as evidence for this application at the time this staff report was written. Exhibits received after the date of this report will be marked beginning with the next consecutive letter and will be entered into the record at the time the public hearing is opened, prior to oral testimony.

- | | |
|-----------|---|
| Exhibit A | Design Review Narrative |
| Exhibit B | Design Review Drawings |
| Exhibit C | Design Review Site and Code Plans |
| Exhibit D | Site Development and Design Review Analysis and Conclusions |

EXHIBIT A
DESIGN REVIEW NARRATIVE

FOREST GROVE CITY HALL & DSA

Design Review Narrative

TOWN CENTER TRANSITION (TCT) - TRACK 2 DESIGN GUIDELINE COMPLIANCE

Please see the attached Design Review narrative for the Forest Grove Development Services Annex & City Hall project. Attached you'll find an outline detailing compliance with the City of Forest Grove's Track 2 Design Guidelines for a "Town Center Transition" development located at 1924 Council Street. The scope of work is intended to be an interior remodel of the existing City Hall building, and a 2-story addition to replace the existing Engineering Building on the site. The existing City Hall building and site will remain largely untouched on the exterior due to budget and code limitations with the exception of the addition of a canopy, re-design of the entry to meet ADA requirements, and a potential new coat of paint.

Town Center Guidelines (TCT) Design Compliance

Site – Building Orientation

- Building setbacks are minimized with the Development Services Annex addition being placed as a zero lot line building along Council Street.
- The primary building entrance is located on Council Street and oriented to allow for ADA access.

Site – Pedestrian Connections

- Parking is existing and adjacent to the development.
- Sidewalks are separated from parking by curbs.
- Trash and Recycling area is on an adjacent property and enclosed.

Site – Amenities

- The City Hall building is existing to remain, and the Development Services Annex addition is a zero-lot line building, so there are no opportunities for exterior court yards or seating. However, weather protection is provided above the sidewalk through a horizontal metal canopy with a wood soffit that connects City Hall to the Development Services Annex addition.

Building – Facades

- Facade walls have a rhythm of bay's and windows and the lower and second level.
- Facade is 2-stories tall.
- The facade includes sunshades and an architectural metal feature around the second floor windows to increase a sense of depth and shadow lines.
- The facade is broken up with a rhythm on the first floor, and vertically oriented windows with sunshades on the second floor.
- Mechanical equipment is set back from the primary facade and should not be visible from Council Street.
- Facades not visible from council street will be constructed primarily out of CMU and Concrete and be painted with elastomeric paint for weather resistance.

Buildings – Storefronts

- First and second floor windows allow views to programmed lobbies and active office spaces on the interior.
- Entries are glazed doors.
- Windows comprised of storefront and curtainwall throughout are primarily tinted only as code required for solar heat gain. Small sections at Floor 2 have a 50% frit pattern for modesty and to reinforce verticality in the glazing, and a row of spandrel at the roof line to hide structural elements.

Buildings – Entries

- Entries are defined by a canopy that projects from the building, but simultaneously creates a sense of being recessed under the canopy.
- Entries are painted storefront with visible face profiles of 2", and an overall mullion depth of 4+4 ½".
- Entry doors have large architectural pulls for hardware.

Building – Residential Entries

- Section not applicable.

Building – Windows

- The City Hall Building is existing and little can be done about the windows, but the design adds a glazed lobby enhancing the amount of glazing on the facade. Floor to ceiling glazing has been added where possible, however grade changes at the Development Services Annex addition largely eliminate this possibility. Together the City Hall and Development Services Annex addition facades and entries along at Council Street provide about 45% glazing at floor 1, and 40% glazing at Floor 2 (second floor of the Development Services Annex addition is nearly 70% glazing).
- Floor 1 and Floor 2 windows reflect proportional patterning, are rectangular, and oriented vertically.
- Existing City Hall windows will remain as-is or replaced with storefront at the entry as shown.
- City Hall and Development Services Annex entry windows are storefront painted a dark bronze with a 2" tall and 4"-4 1/2" profile. The face of glass is oriented towards the exterior to better match the Curtainwall.
- The Development Services Annex addition windows are curtainwalls also painted dark bronze with 2" profiles and 6" mullion depths. The face of glass for both the Curtainwalls is recessed 1 ½"-2" from adjacent wall surfaces on the lower level, and 12" from the adjacent metal Architectural feature on floor 2. At floor 2 the depth and rhythm is further accentuated by the use of vertical sunshades.

Building – Exterior Walls

- The existing City Hall exterior is to remain, but the intent is to paint it (budget dependent).
- The exterior walls of the Development Services Annex addition are made of quality materials throughout. The dominant opaque material on the facade is brick, with base of board form concrete (required for sub-grade conditions due to waterproofing). The rest of the facade is comprised of previously discussed Curtainwalls, Storefront, and dark bronze architectural metal panel. The Canopy is constructed out steel painted dark bronze with a 1x6 red cedar soffit.
- Depth is created through the use of sunshades, and an architectural metal feature around the second floor windows.

Building Landscape – Walls and Fences

- The development is a zero-lot line building and existing City Hall building. The design does not call for any fences. Small concrete site walls are located at the rear and between buildings consist of cast in place concrete but won't appear as more than curbs.

Lighting – Exterior Building

- Lighting of the building is integrated with the canopy to light the pedestrian walkway and prevent "dark corners". Lighting is directed downward at the sidewalk and entries.

Lighting – Parking Lot

- Existing parking lot is to remain. No additional parking is being incorporated.

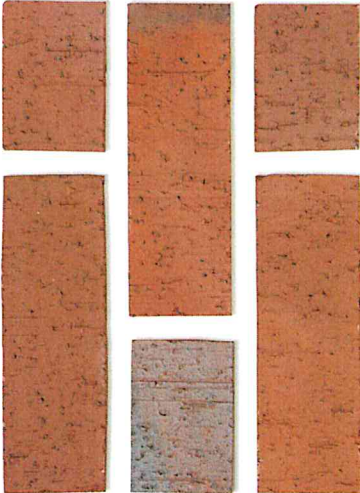
Lighting – Sidewalk and Landscape

- Lighting is integrated in the canopy and will illuminate the walkway and building entry.
- Landscape requirements are met through existing green spaces on the City Hall Property to remain, however a street tree is being relocated and will incorporate power for seasonal tree lighting.

Lighting & Signs

- The City Hall building sign is integrated with the canopy, and incorporates silhouette backlighting. The sign will be made of extruded aluminum and be painted dark bronze to match the canopy and metal on the façade.

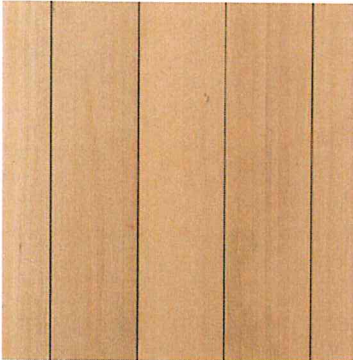
EXTERIOR MATERIALS PALETTE



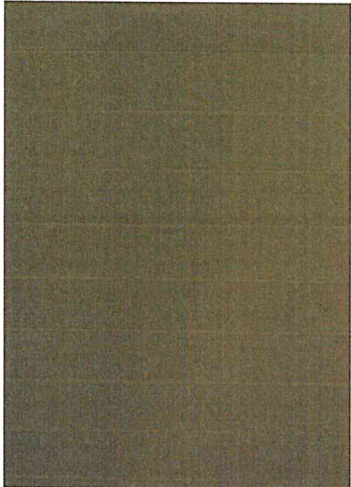
BRICK (PRIMARY MATERIAL)



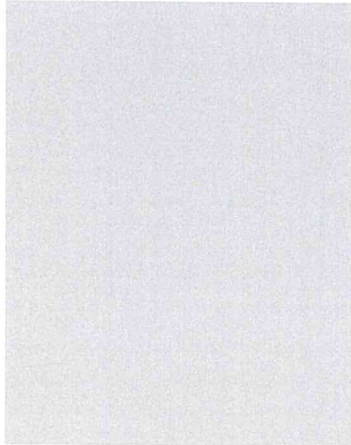
BOARD FORM CONCRETE



CANOPY SOFFIT



DARK BRONZE METAL PAINT (PARAPET CAPS, ARCHITECTURAL METAL PANEL, CANOPY STEEL, GLAZING AND DOOR FRAMES, SEISMIC JOINT FLASHING)

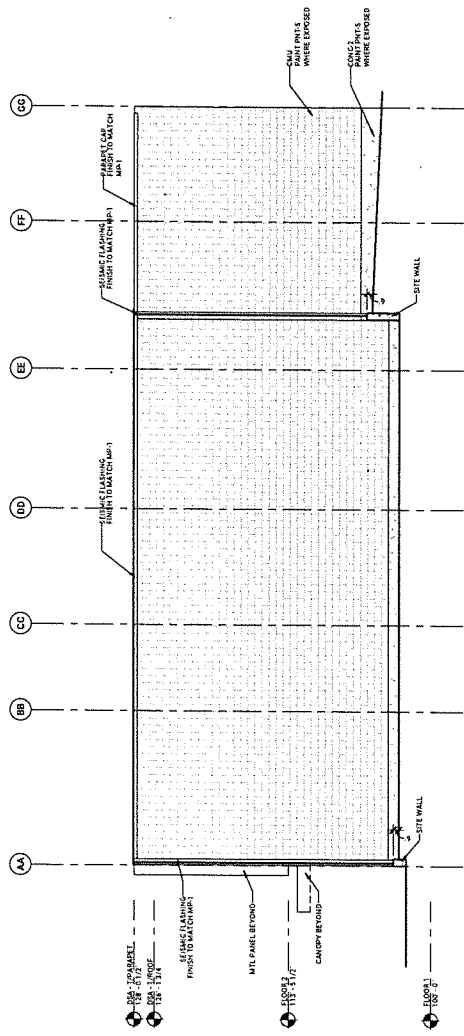


ELASTOMERIC PAINT AT DSA ADDITION CMU AND CONCRETE WALLS (NOT VISIBLE FROM COUNCIL STREET)

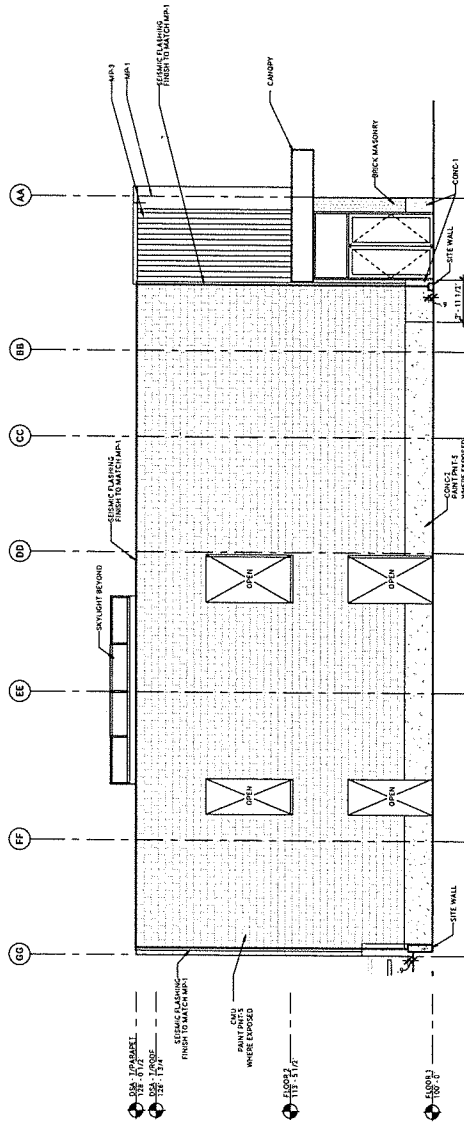
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A1 EAST ELEVATIONS - DSA & CITY HALL
3/12/21 Q

[illegible][illegible]



B1 NORTH ELEVATION - DSA
230' 11 1/2"



A1 SOUTH ELEVATION - DSA
230' 11 1/2"

PROJECT GOALS

WARM AND INVITING

COLLABORATIVE

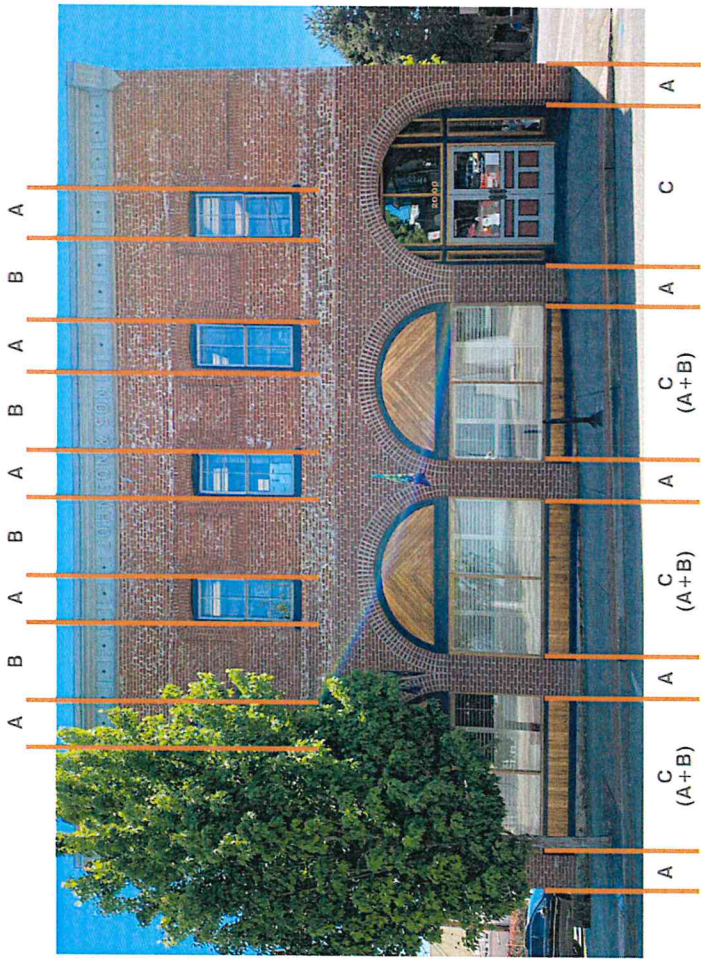
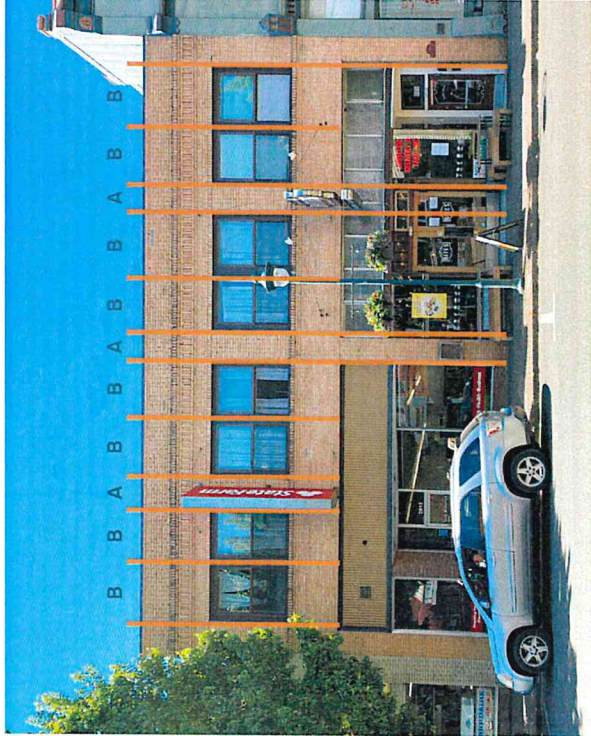
EQUITY

FLEXIBLE

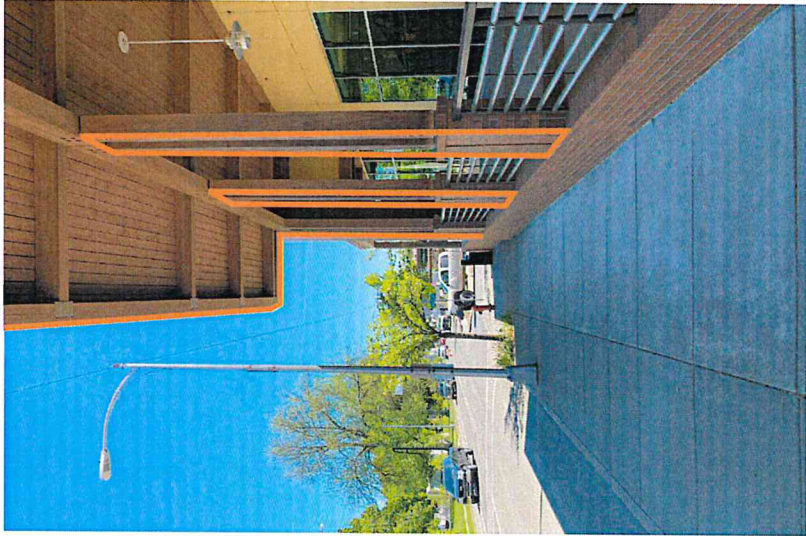
PRECEDENT IMAGERY - SCALE, MASSING, MATERIALS



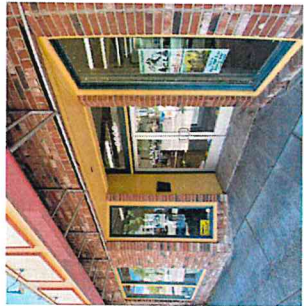
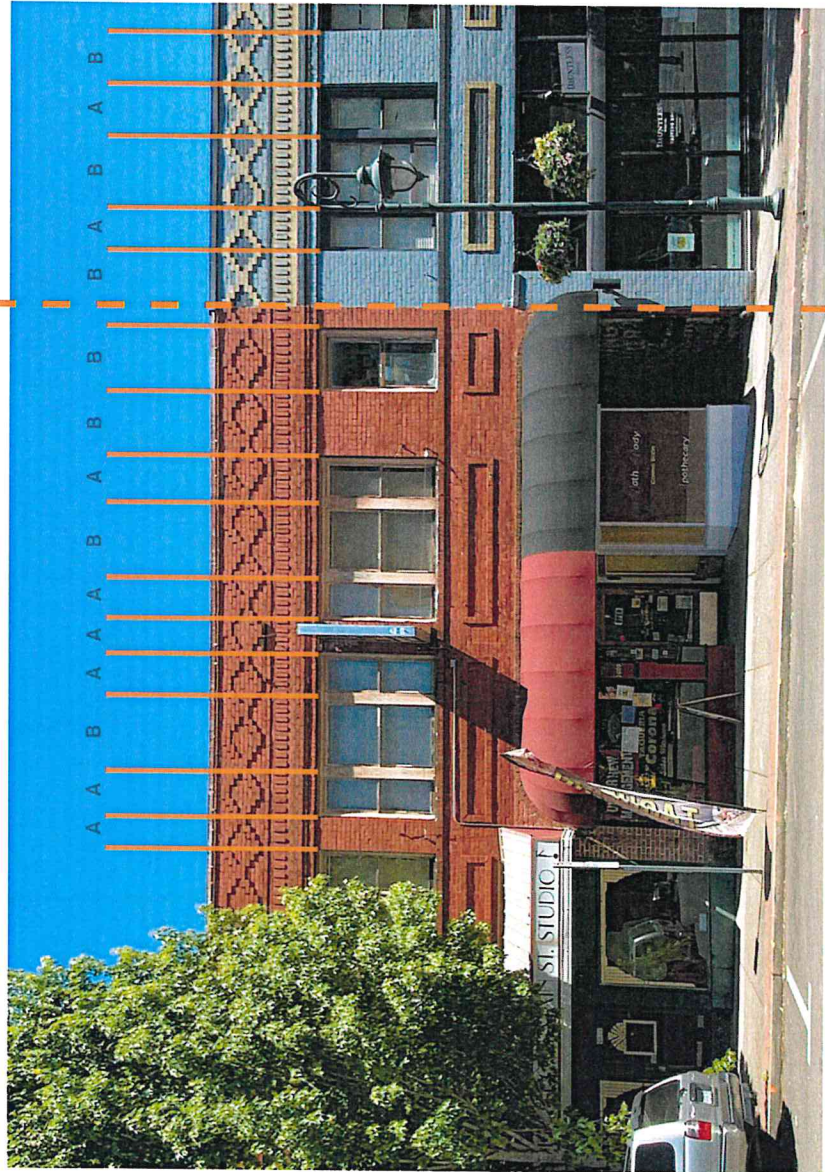
PRECEDENT IMAGERY - SCALE, PROPORTION, RHYTHM



PRECEDENT IMAGERY - PEDESTRIAN EXPERIENCE



PRECEDENT IMAGERY - WINDOW RHYTHM AND MATERIALS



ADJACENT PROPERTY

CITY COUNCIL

DSA
(DEVELOPMENT SERVICES
ANNEX)

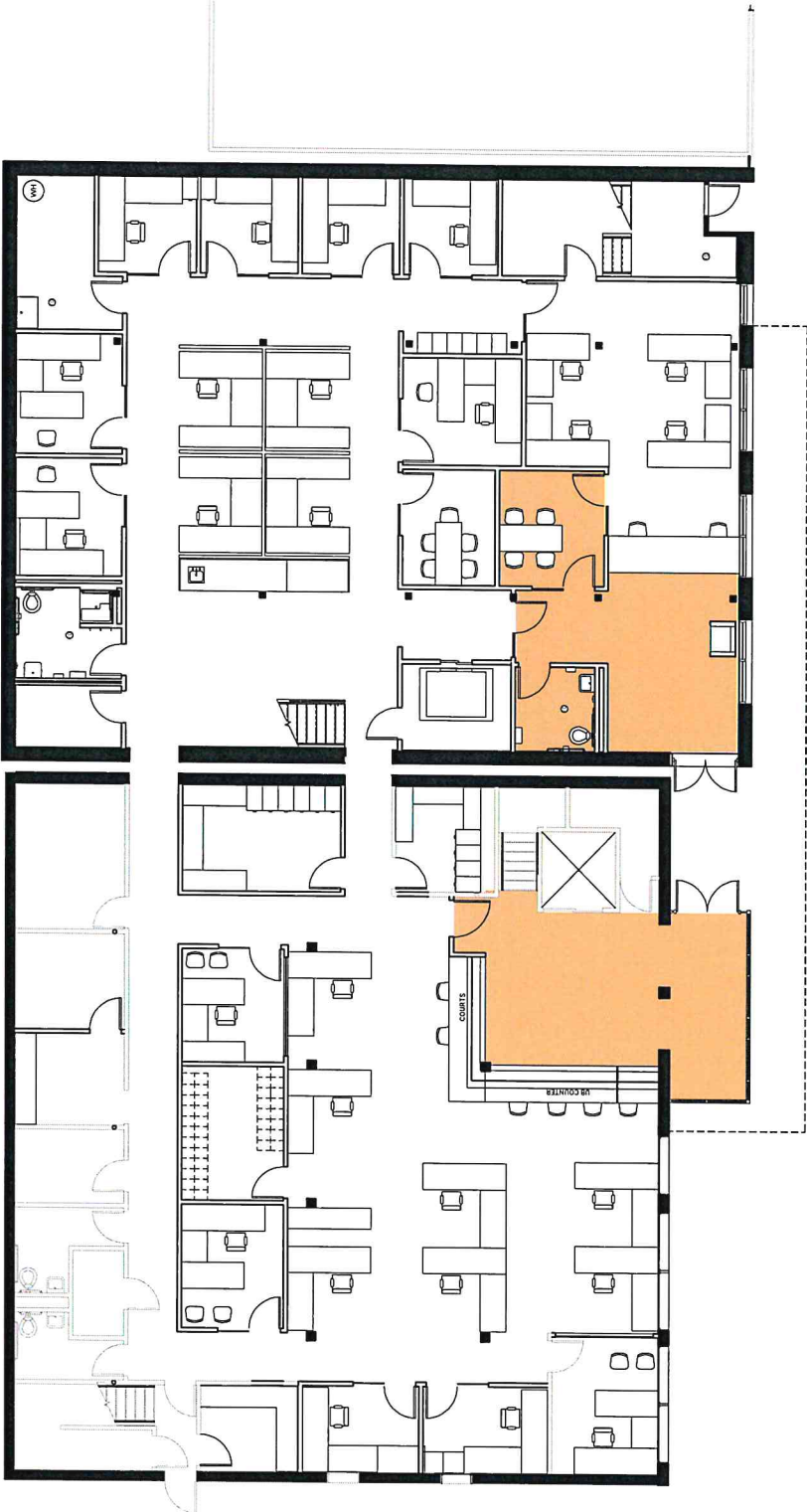
ADJACENT PROPERTY

COUNCIL STREET

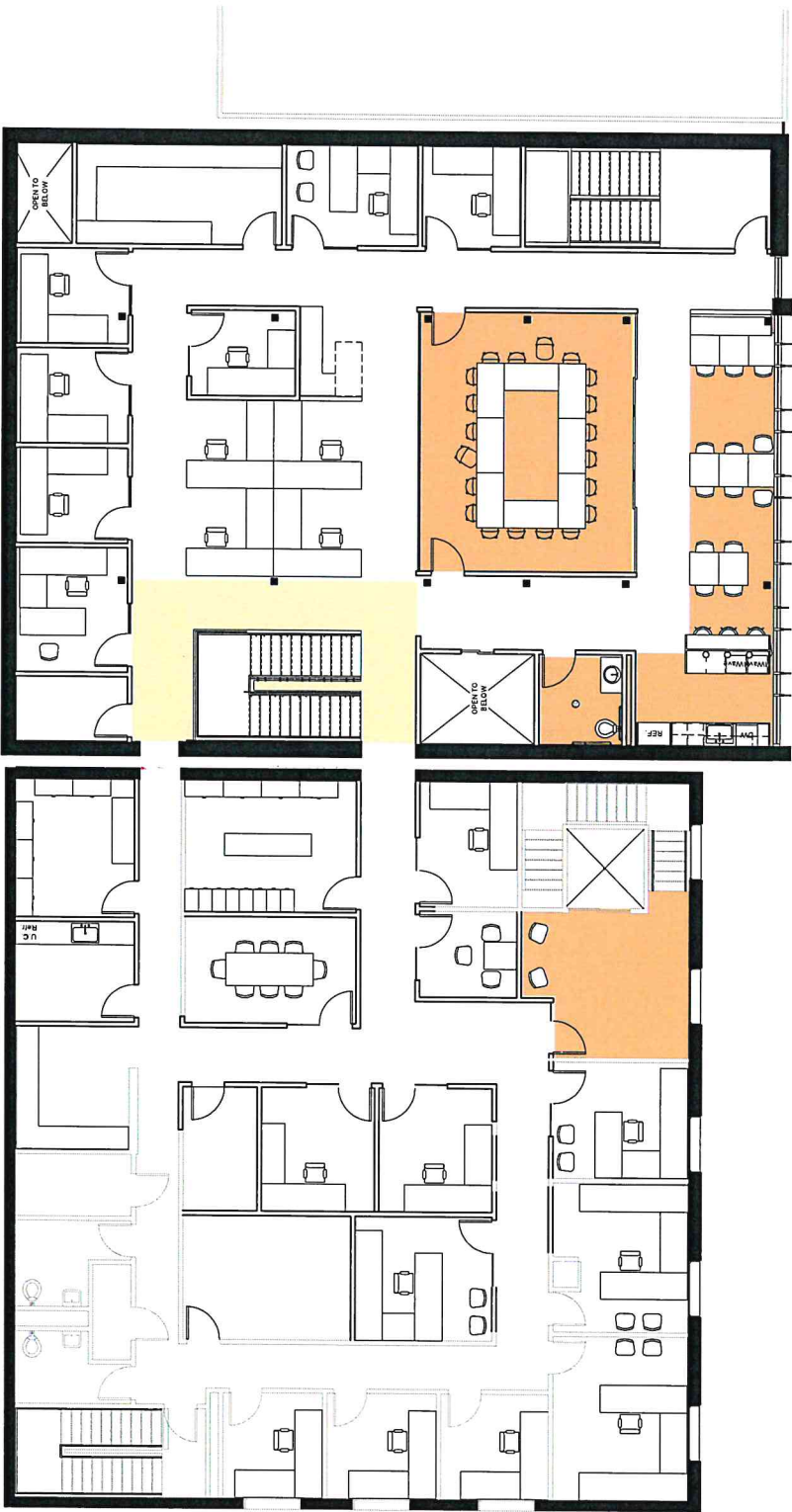
HFA ARCHITECTURE + INTERIORS

DECEMBER 23, 2021

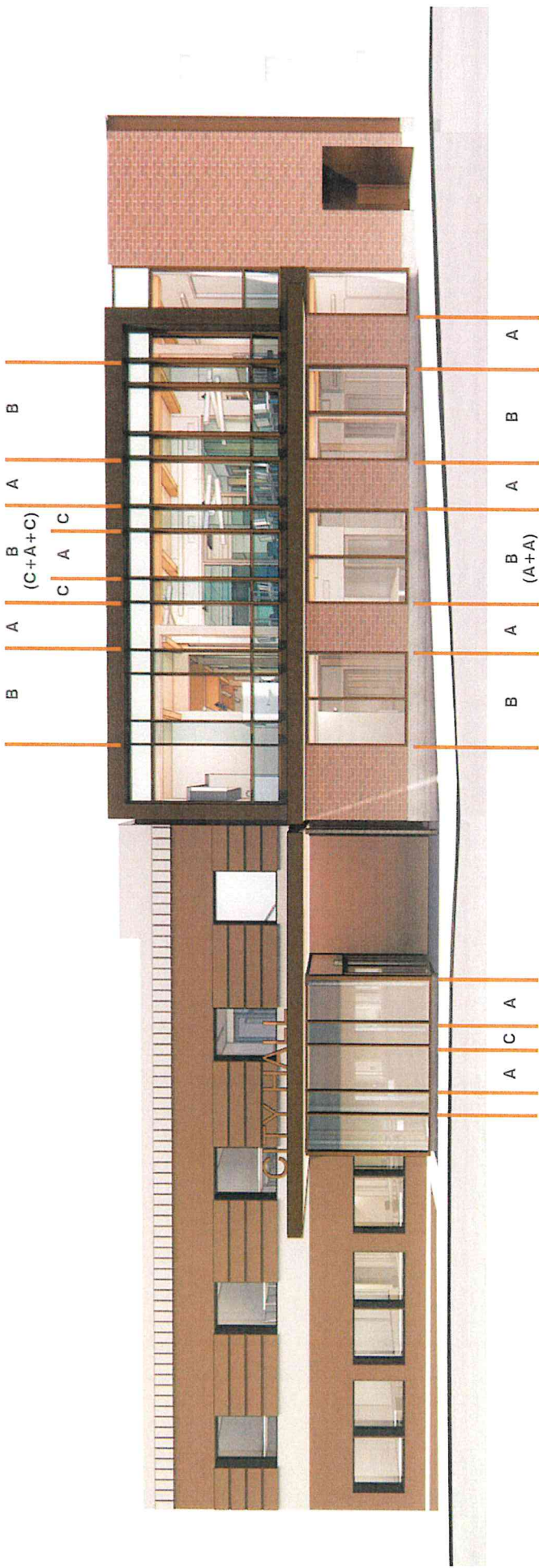
FIRST FLOOR PLAN



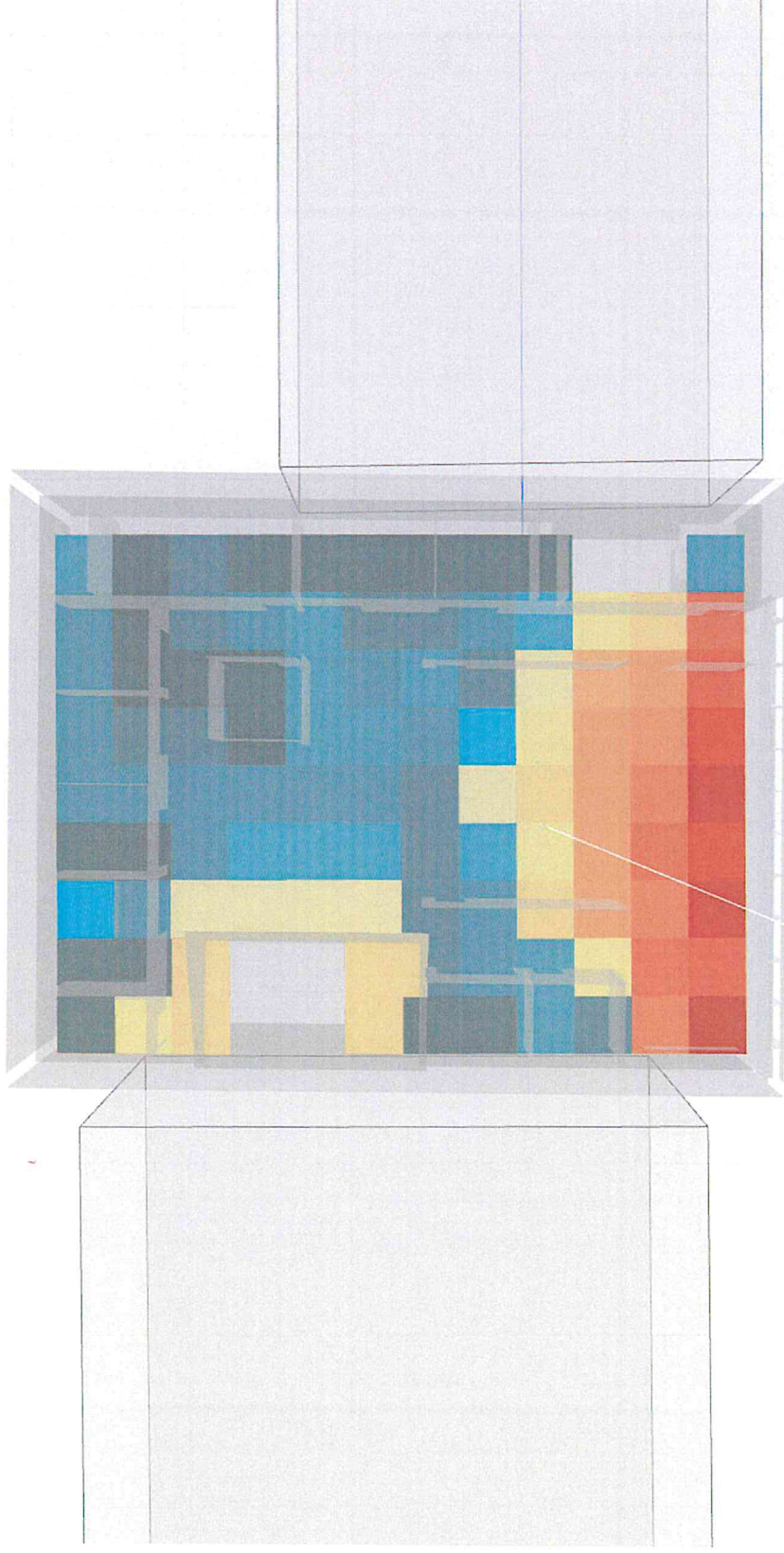
SECOND FLOOR PLAN



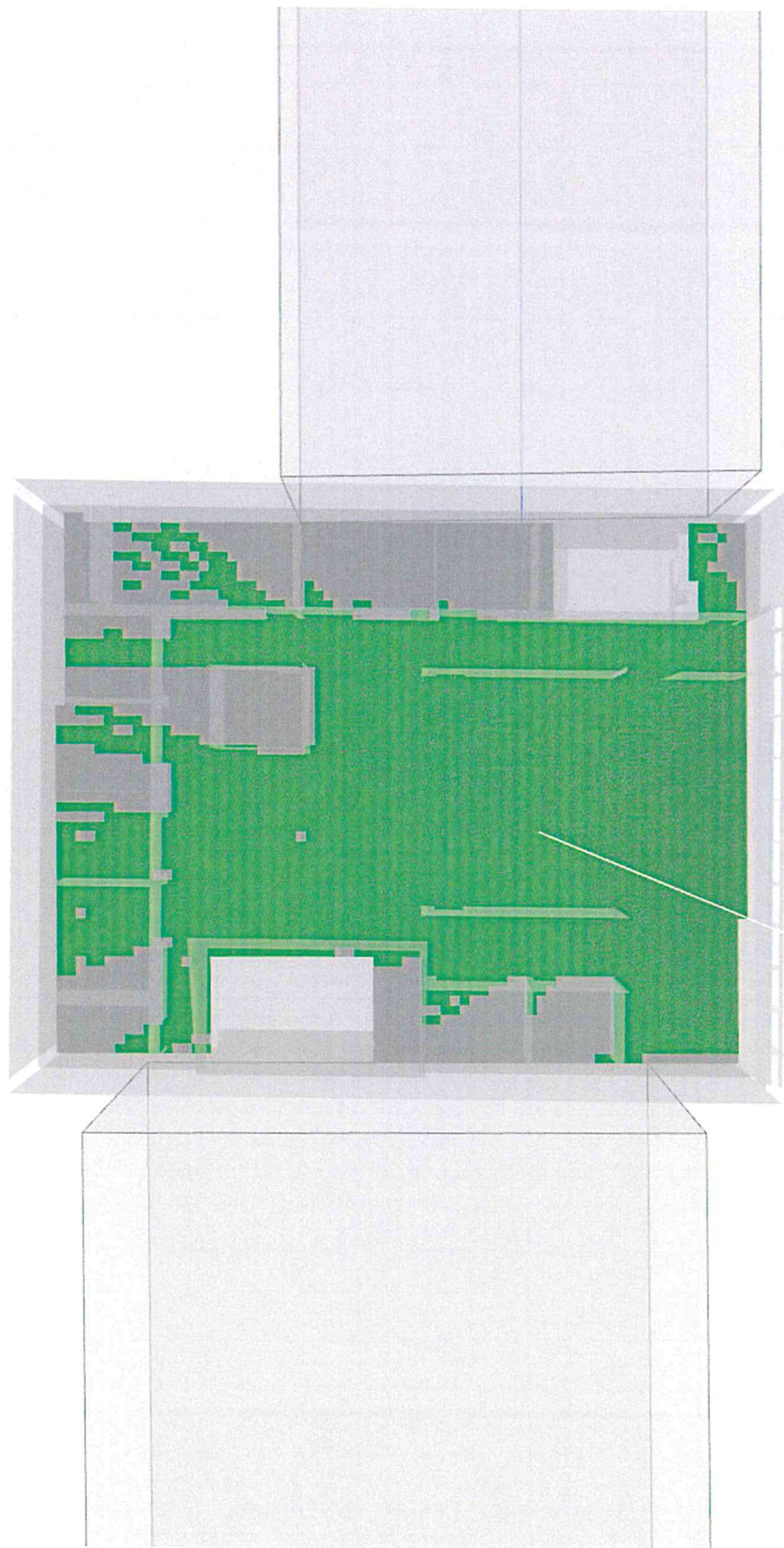
EAST ELEVATION



SECOND FLOOR PLAN - DAYLIGHT STUDIES

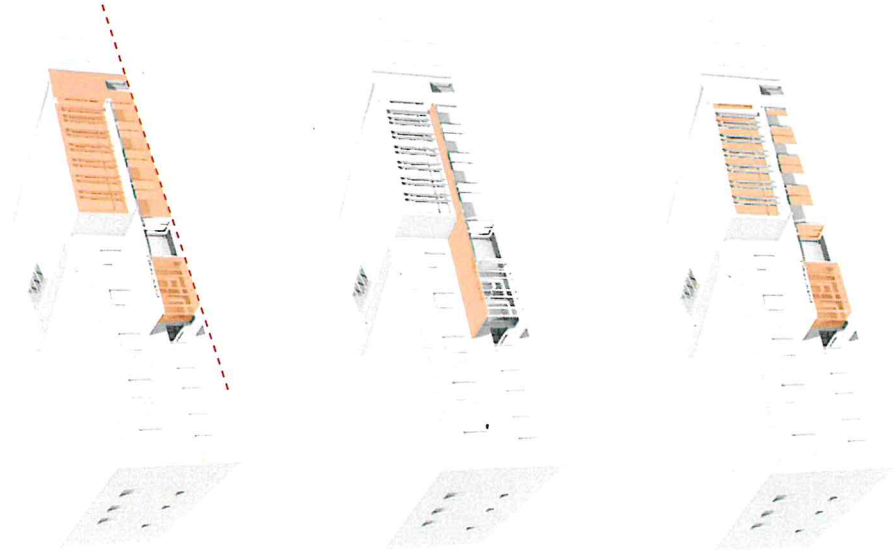


SECOND FLOOR PLAN - VIEW STUDIES



27

PROGRAM SUMMARY



SITE

The east-facing facade of the addition reflects the downtown design standards by minimizing setbacks from the public right-of-way. The primary building entrance is nearly fully glazed and oriented to the street. A new vestibule on the City Hall extends across the facade to directly connect to the pedestrian sidewalk, providing recessed entrances to the building.



Most buildings in downtown Forest Grove feature zero lot-line designs, with recessed primary entrances oriented to the street.

AMENITIES

Weather protection for pedestrians is provided via an integrated metal canopy that stretches across 75% of the facade of the Development Services Annex, and an additional 33 feet across the existing City Hall facade visually tying the building together.



Many buildings in downtown Forest Grove provide weather protection for pedestrians. This is also a stated goal of the cities development standards.

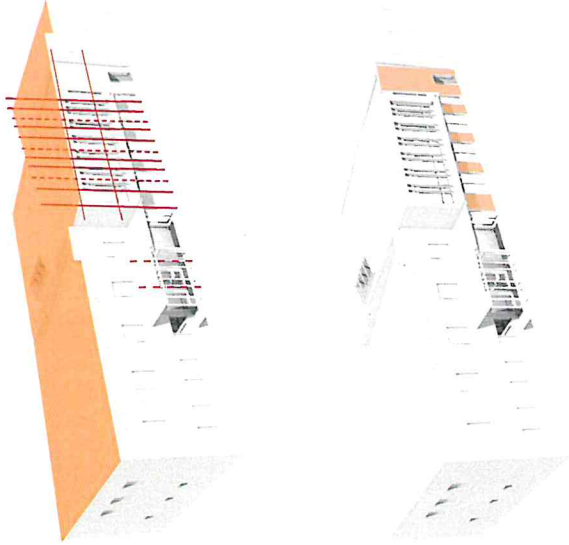
WINDOWS

Clear ground floor windows provide views to interior active use spaces which were strategically placed along the East facade to maximize visual connections between the street and building. Lower level windows are designed to create a regular vertical rhythm that is reflected with the glazing above. Glazing curtain-wall panels will be set within metal mullions to reinforce a sense of depth.



Ground floor glazing with views of active commercial and retail spaces are in Forest Grove's downtown buildings. This is also a stated goal of the cities development standards.

PROGRAM SUMMARY



Character

The Development Services Annex addition and remodel of the existing Forest Grove City Hall contributes to the visual relatedness of Town Center buildings by maintaining the continuous street edge, and reflecting the rhythms, proportions, and resilient materials of existing buildings.

Proportions and Rhythm

The Development Services Annex addition is 2-stories tall and reflects the undulating language of surrounding buildings while creating a sense of enclosure at the street. Pilasters at the street level create a vertical rhythm that is carried through the upper level windows via glazing patterns and vertical sun shades.



Panoramic elevation of the building site and adjacent buildings. The expansion will reinforce the scale and stepping of adjacent buildings

Materials

The primary materials on the east facade are brick, concrete, and glazing, in keeping with existing buildings in downtown Forest Grove and development standards. Additional articulation and warmth is achieved by the strategic uses of wood and metal accent panels.



Many downtown buildings utilize a palette of brick, glazing, and wood or metal trim



MAIN STREET PANORAMA LOOKING WEST

RENDER - CITY HALL LOBBY INTERIOR ARCTIVE SPACES



RENDER - DEVELOPMENT SERVICES ANNEX



EXHIBIT B
DESIGN REVIEW DRAWINGS



A1 FLOOR 2 OVERALL PLAN
3/16" = 1'-0"

OF DOTS ARE NOT VISIBLE, INFORMATION MAY BE MISSING.

SHEET NOTES

1. PROVIDE ANTI-GRAFFITI COATING FULL HEIGHT AT DSA CONC-1 AND BRICK.
2. PROVIDE ELASTOMERIC PAINT FULL HEIGHT AT EXPOSED EXTERIOR CMU AND CONC-2.
3. FINISH OF ALL SETS/MC FLASHING TO MATCH MP-1
4. SEE STRUCTURAL FOR CONTROL JOINTS

1. PROVIDE ANTI-GRAFFITI COATING FULL HEIGHT AT DSA CONC-1 AND BRICK
2. PROVIDE ELASTOMERIC PAINT FULL HEIGHT AT EXPOSED EXTERIOR CMU AND CONC-2
3. FINISH OF ALL SEISMIC FLASHING TO MATCH MP-1
4. SEE STRUCTURAL FOR CONTROL JOINTS



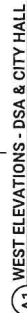
FOREST GROVE OREGON

1924 Council Street
Forest Grove
Oregon
97116

	MARK	DATE	DESCRIPTION
	APPROVED:		Apprver
	DRAWN:		Author
	DATE:	12.12.2021	
	PROJECT NO.		240520

A-202

PERMIT SET



 DRAWINGS TO BE PRINTED IN GRAYSCALE, IF 3 DISTINCT SHADES OF DOTS ARE NOT VISIBLE, INFORMATION MAY BE MISSING.

FFA
Architecture
+ Interiors

FFA Architecture and Interiors, Inc.
110 NW 79th Ave. Suite 400 Portland OR 97244
Phone: 503.222.1441 www.ffa-arch.com

NOT FOR
CONSTRUCTION

**FOREST GROVE
DSA & CITY HALL**



CITY OF FOREST GROVE

Council Street
Forest Grove
Oregon
97116

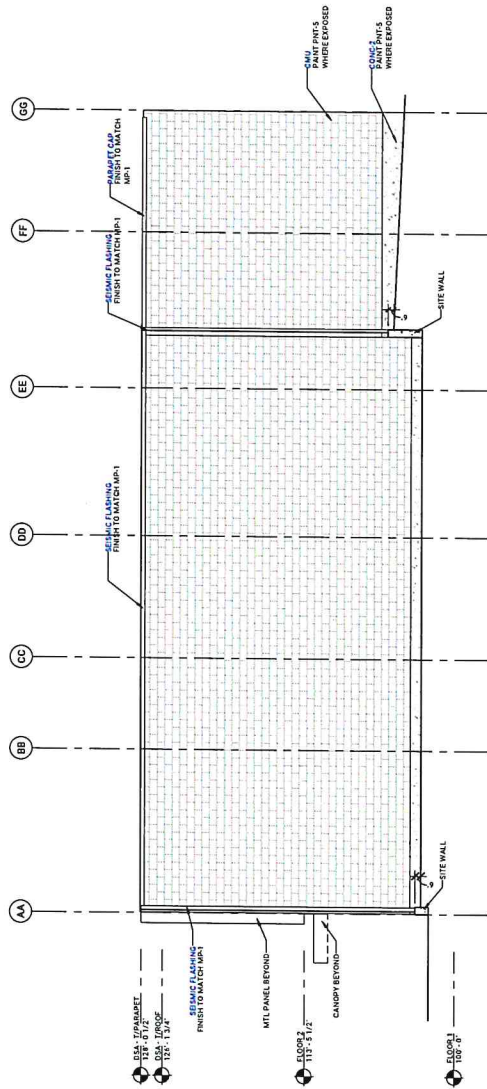
	MARK	DATE	DESCRIPTION
	APPROVED:		Approver
	DRAWN:		Author
	DATE:	12.22.2021	
	PROJECT NO.		240520

BUILDING ELEVATIONS

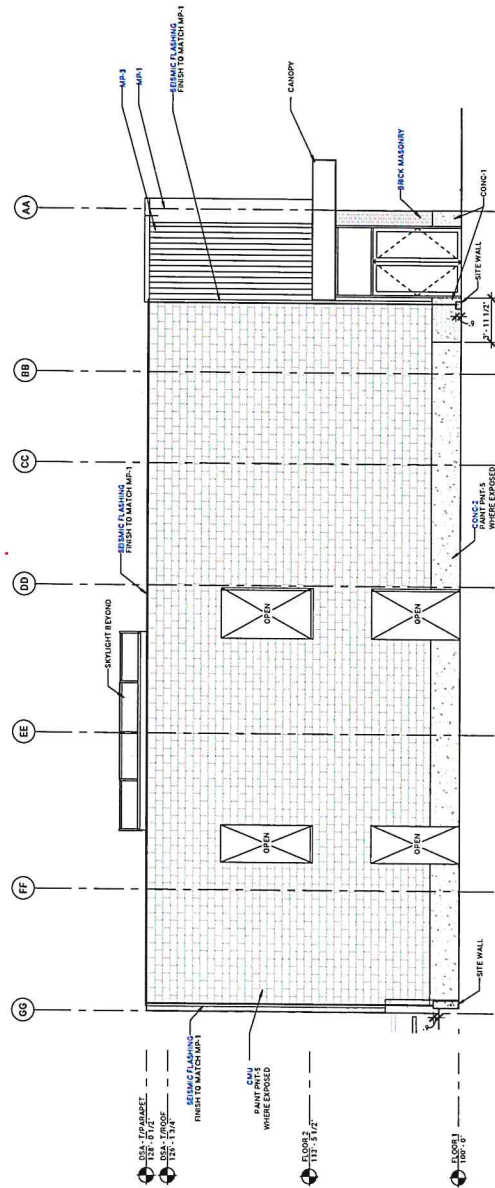
A-203

PERMIT SET

1. PROVIDE ANTI-CRAFFTITI COATING FULL HEIGHT AT DSA CONC-1 AND BRICK
2. PROVIDE ELASTOMERIC PAINT FULL HEIGHT AT EXPOSED EXTERIOR CMU AND CONC-2
3. FINISH OF ALL SEISMIC FLASHING TO MATCH MP-1
4. SEE STRUCTURAL FOR CONTROL JOINTS



P1 NORTH ELEVATION - DSA

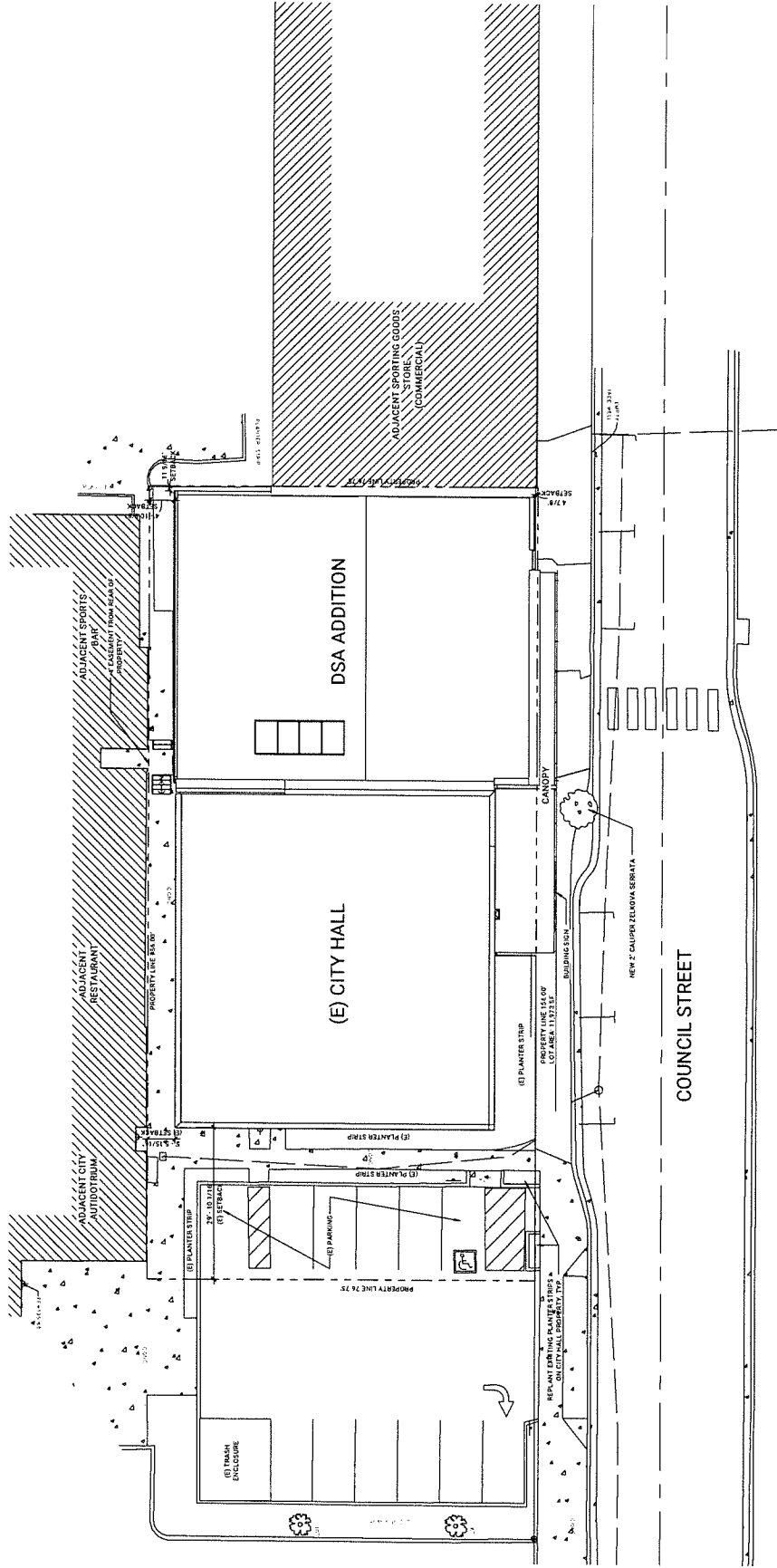


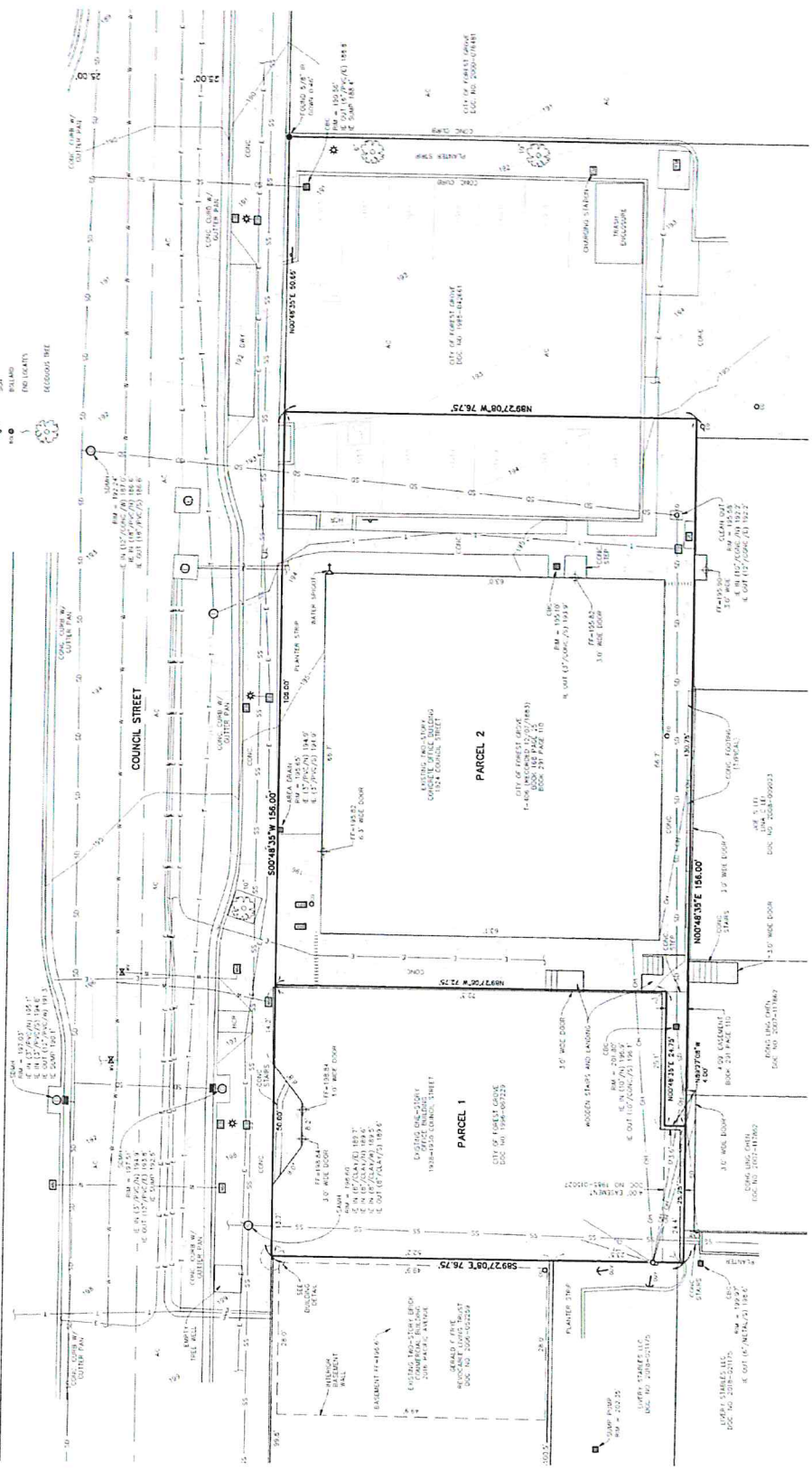
A1 SOUTH ELEVATION - DSA
3/16" = 1'-0"

DRAWINGS TO BE PRINTED IN GRAYSCALE, IF 3 DISTINCT SHADES OF DOTS ARE NOT VISIBLE, INFORMATION MAY BE MISSING.

SHEET NOTES

- SEE DEMO FOR EXTENTS OF EXISTING BUILDING DEMO
- SEE CONCEPT PLAN FOR EXISTING SITE LAYOUT
- SEE CIVIL FOR ADDITIONAL SITE PLAN INFORMATION
- SEE CIVIL FOR ADDITIONAL SITE PLAN INFORMATION
- SEE CIVIL FOR ADDITIONAL SITE PLAN INFORMATION
- PATCH EXISTING SITE ELEMENTS AS REQUIRED TO MATCH EXISTING
- AFTER TRENCING, CUTTING, ETC.





SHEET NOTES

1. REMOVE ALL SITE COMPONENTS AND RECYCLE COMPONENTS AS REQUIRED IN THE SPECIFICATIONS.
2. GENERAL DEMOLITION PERMIT SHALL BE SECURED BY THE CONTRACTOR.
3. ALL TRADE LICENSES AND PERMITS NECESSARY FOR THE PROCUREMENT AND CONSTRUCTION OF THIS PROJECT SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING DEMOLITION.
4. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING RIGHT-OF-WAY SURVEY MONUMENTATION DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT BY A LICENSED SURVEYOR OF ANY DAMAGED OR REMOVED MONUMENTS.
5. PROTECT ALL ITEMS ON ADJACENT PROPERTIES AND IN THE RIGHT-OF-WAY. PROTECT EXISTING UTILITIES, STRUCTURES, TREES, CURBS, PAVEMENT AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY DAMAGED ITEMS TO ORIGINAL CONDITION.
6. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, AND OTHER FACILITIES IMMEDIATELY ADJACENT TO THE DEMOLITION SITE. PROTECT ALL EXISTING UTILITIES, LATERAL MOVEMENT, UNDERDRAINING, WASHOUT AND OTHER MARKERS.
7. CONTRACTOR MAY STAGE WITHIN LIMITS OF DEMOLITION.
8. CONTRACTOR IS RESPONSIBLE TO CONTROL DUST AND MUD DURING THE DEMOLITION PROCESS. DUST AND MUD SHALL BE CONTROLLED TO PREVENT STREET SURFACES OUTSIDE THE CONSTRUCTION ZONE MUST BE KEPT CLEAN.
9. ALL EXPOSED PORTIONS OF UNDERGROUND UTILITIES TO BE ABANDONED SHALL BE PLUGGED PER DETAIL 6-2500.

(X) SITE DEMOLITION KEY NOTES

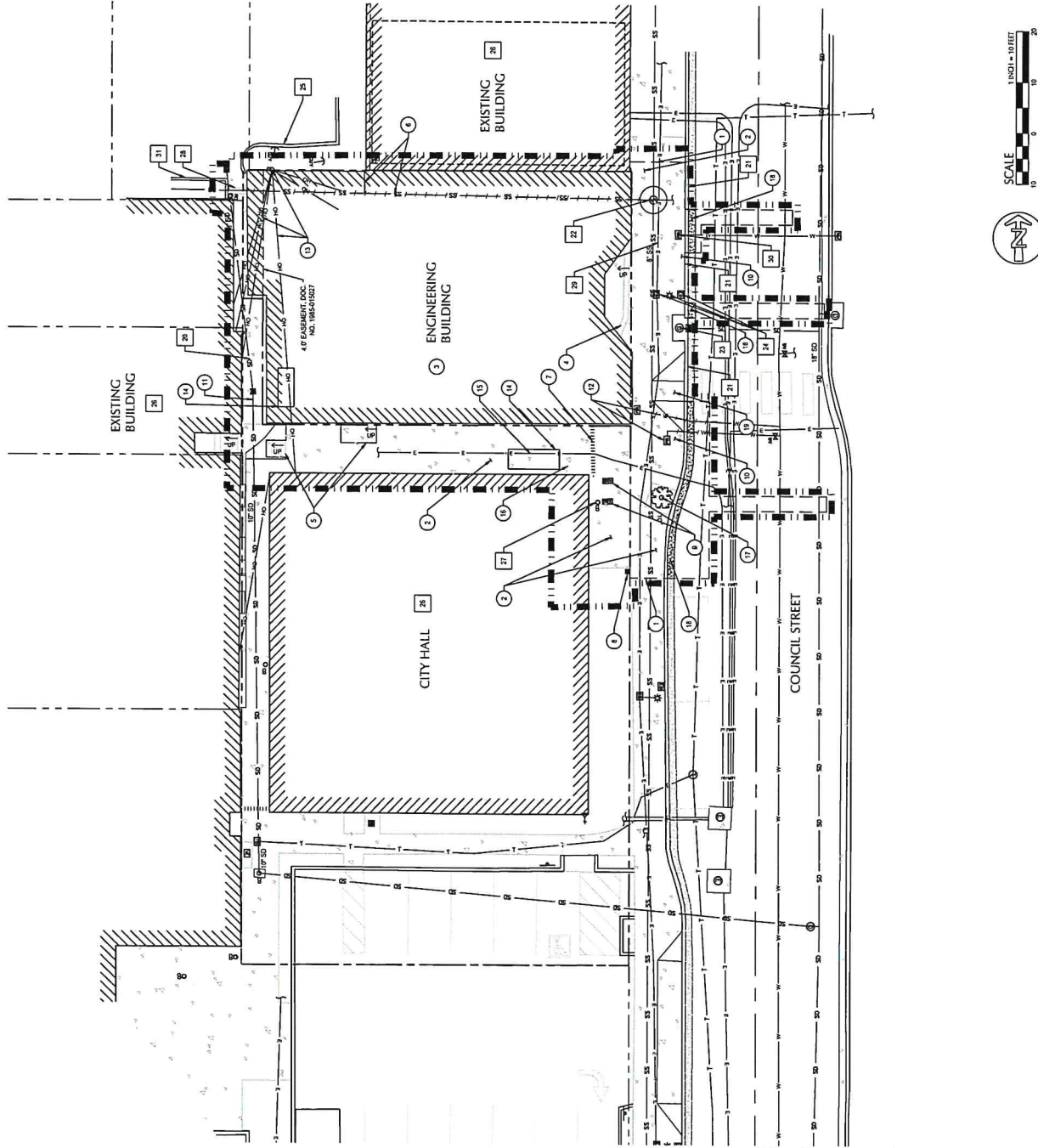
1. SAWCUT AND REMOVE PAVEMENT.
2. REMOVE CONCRETE SIDEWALK AT NEAREST JOINT.
3. REMOVE EXISTING CURB AND GUTTER. PROVIDE TEMPORARY SIDEWALKS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
4. REMOVE STAIRS.
5. REMOVE STAIRS AND LANDING. COORDINATE WITH ADJACENT PROPERTY OWNER.
6. REMOVE SANITARY SEWER LINE. CONTRACTOR TO PHASE WORK AND/OR PROVIDE TEMPORARY BYPASS IN ORDER TO MAINTAIN SEWER SERVICE TO ADJACENT PROPERTIES THROUGH CONSTRUCTION.
7. REMOVE TRENCH DRAIN AND CAP STORM LATERAL.
8. REMOVE CATCH BASIN AND CAP LATERAL.
9. REMOVE BIKE PAVING.
10. REMOVE BRICK PAVING.
11. REFERENCE ARCHITECTURAL AND STRUCTURAL PLANS FOR DEMOLITION AND PROTECTION NOTES ASSOCIATED WITH THE PLUMB.
12. REMOVE EXISTING WATER METER AND LATERAL.
13. POLE AND OVERHEAD LINES TO BE REMOVED BY CITY OF FOREST GROVE LIGHT AND UTILITY DEPARTMENT. PROVIDE ELECTRICAL SITE PLAN FOR ADDITIONAL INFORMATION ON SITE ELECTRICAL ITEMS.
14. CONTRACTOR TO REMOVE OIL TANK PRIOR TO CONSTRUCTION. SHORING AND UNDERPINNING SHALL BE CONSTRUCTED AS REQUIRED BY GEOTECH.
15. REMOVE ELECTRICAL CONDUIT. REFERENCE ELECTRICAL SITE PLAN FOR ADDITIONAL INFORMATION ON SITE ELECTRICAL ITEMS.
16. REMOVE AND DECOMMISSION EXISTING DRYWELL IN ACCORDANCE WITH DEQ.
17. REMOVE EXISTING TREE.
18. REMOVE CONCRETE CURB AND GUTTER.
19. REMOVE CURB RAMP.

(X) PROTECTION KEY NOTES

20. PROTECT EXISTING STORM DRAIN AND MAINTAIN FLOW THROUGH CONSTRUCTION.
21. PROTECT EXISTING CURB AND GUTTER.
22. PROTECT SANITARY MANHOLE. PLUG MANHOLE AT DEMOLISHED LATERAL.
23. PROTECT EXISTING CURB INLET.
24. PROTECT STREET LIGHTS, JUNCTION BOXES AND ASSOCIATED CONDUIT.
25. PROTECT EXISTING CURB.
26. PROTECT BUILDING.
27. PROTECT SANITARY CLEANOUT AND ASSOCIATED PIPING.
28. PROTECT STAIRS.
29. PROTECT EXISTING ELECTRICAL CONDUIT. REFERENCE ELECTRICAL SITE PLAN FOR ADDITIONAL INFORMATION ON ELECTRICAL ITEMS.
30. PROTECT EXISTING IRRIGATION METER.
31. PROTECT EXISTING WOODEN PLANTER.

SHEET LEGEND

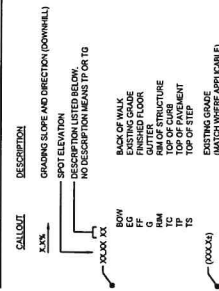
- | | |
|---|---|
| — | PROPERTY LINE |
| — | EXTENT OF WORK |
| — | SAWCUT LINE |
| — | REMOVE OR ABANDON UTILITY LINE IN PLACE |



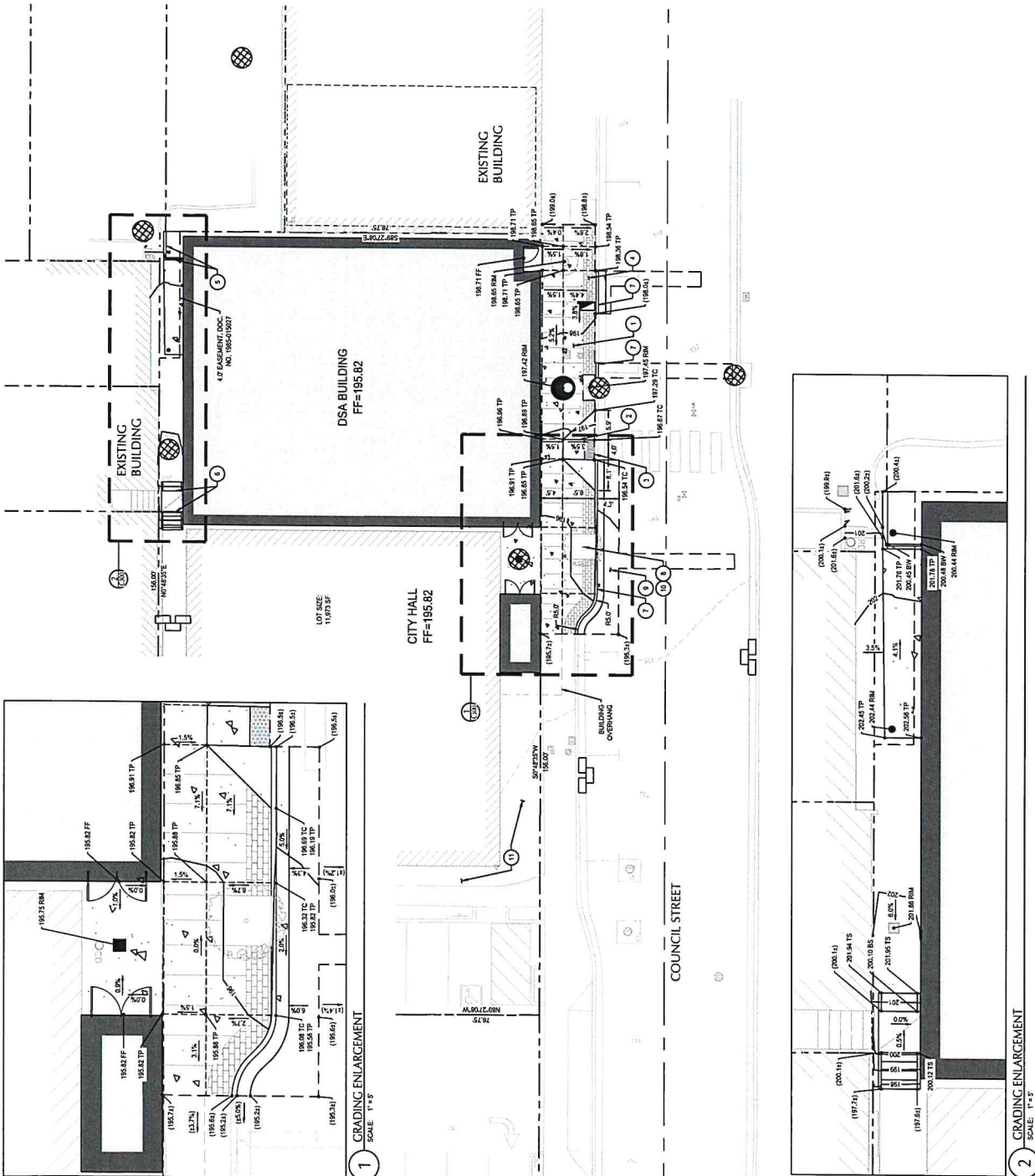
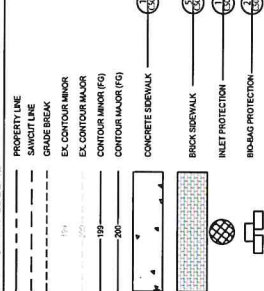
SHEET NOTES

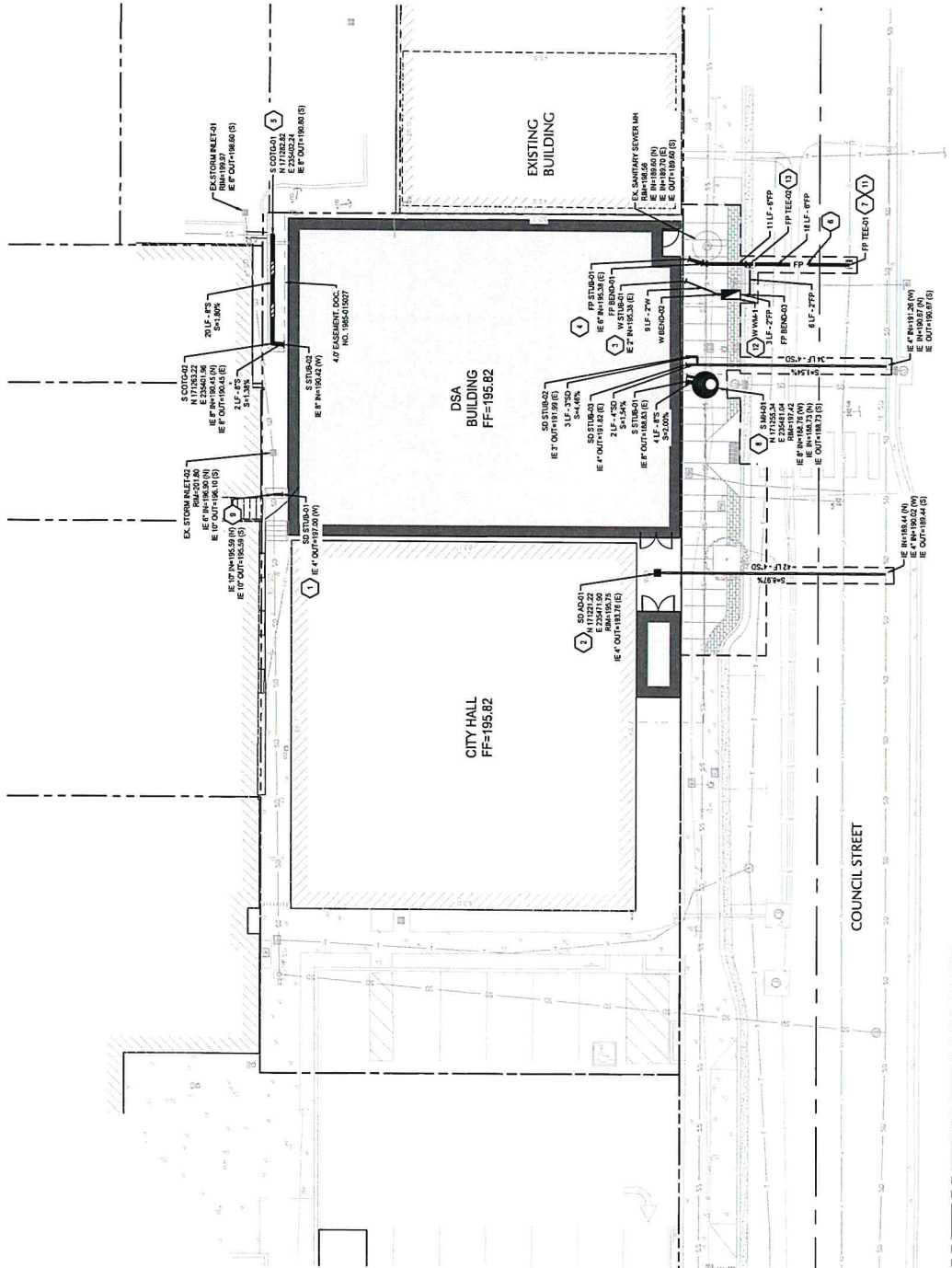
1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
 2. ALL SIDEWALK PAVEMENT JOINTS SHALL BE CONSTRUCTED PER DETAIL 1C300.
 3. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAG).
 4. SLOPES PROVIDED ON SLOPE ARROW ARE FOR REFERENCE ONLY.
 5. LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
 6. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAG).
 7. EROSION CONTROL MEASURES SHALL COMPLY WITH OHS STANDARDS PER DETAIL 3C202.
- KEY NOTES**
1. CONSTRUCT SIDEWALK PER CITY OF FOREST GROVE STD DETAIL 1C300.
 2. TYPICAL SCOTCH AND SPACING PER DETAIL 1C300 AND 3C200.
 3. RECONSTRUCT CONCRETE SIDEWALK RAMP PER DETAIL 9C300.
 4. INSTALL TRUNCATED DOMES PER DETAIL 1C300.
 5. SITE RETAINING WALL. REFERENCE STRUCTURAL PLANS FOR DETAILS.
 6. CONTRACTOR TO INSTALL STEEL STAIRS AND LANDING. REFERENCE ARCHITECTURAL PLANS FOR DETAILS.
 7. CONSTRUCT CONCRETE CURB AND GUTTER PER CITY OF FOREST GROVE STD DETAIL 7C301 AND 9C301.
 8. INSTALL STREET TREE AND TREE WELL PER CITY OF FOREST GROVE STD DETAIL 7C301 STREET TREE TO BE 2" CALIPER EROSION CONTROL.
 9. AC PAVEMENT TO MATCH EXISTING PAVEMENT SECTION.
 10. INSTALL POWER RECEPTACLE IN TREE WELL. REFERENCE ELECTRICAL PLANS FOR DETAILS.
 11. REPAINT EXISTING PLANTER STRIPS. REFERENCE ARCHITECTURAL PLANS FOR DETAILS.

GRADING LABEL LEGEND



SHEET LEGEND





1. The following information is to be printed in grayscale, if 3 distinct shades of dots are not visible, information may be missing.

EXHIBIT C
DESIGN REVIEW SITE AND CODE PLANS

- FIELD VERIFY EXISTING CONDITIONS.
 1. LOCUS OF DELETIONS IN NEW DSA BUILDING TO MATCH EXISTING CITY
 2. FLOOR FINISHES TO MATCH EXISTING.
 3. ELEVATION 10'0" AT LEVEL 1 IS EQUAL TO 195.62'. VERIFY EXISTING ELEVATION
 4. AT CITY HALL LEVEL.
 5. MAINTAIN MINIMUM 1'-0" CLEAR BETWEEN DSA AND EXISTING BUILDINGS
 6. NO CITY ARCHITECT OF ANY CONFLICTS
 7. SEE SPECIFICATIONS FOR DELEGATED DESIGN SYSTEMS
 8. COORDINATE DOCUMENTS WITH MEA, CIVIL, AND STRUCTURAL. NOTIFY ARCHITECT
 9. OF ANY CONFLICTS

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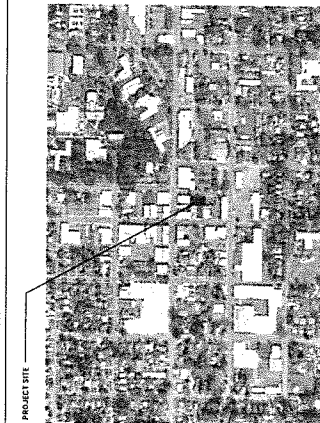
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DRAWING INDEX

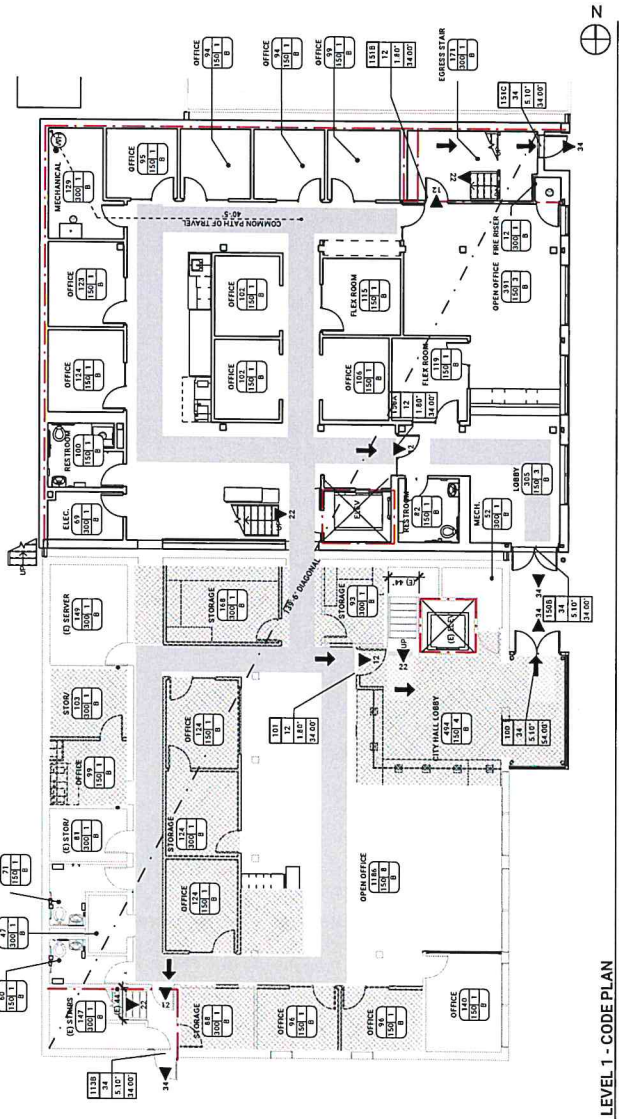
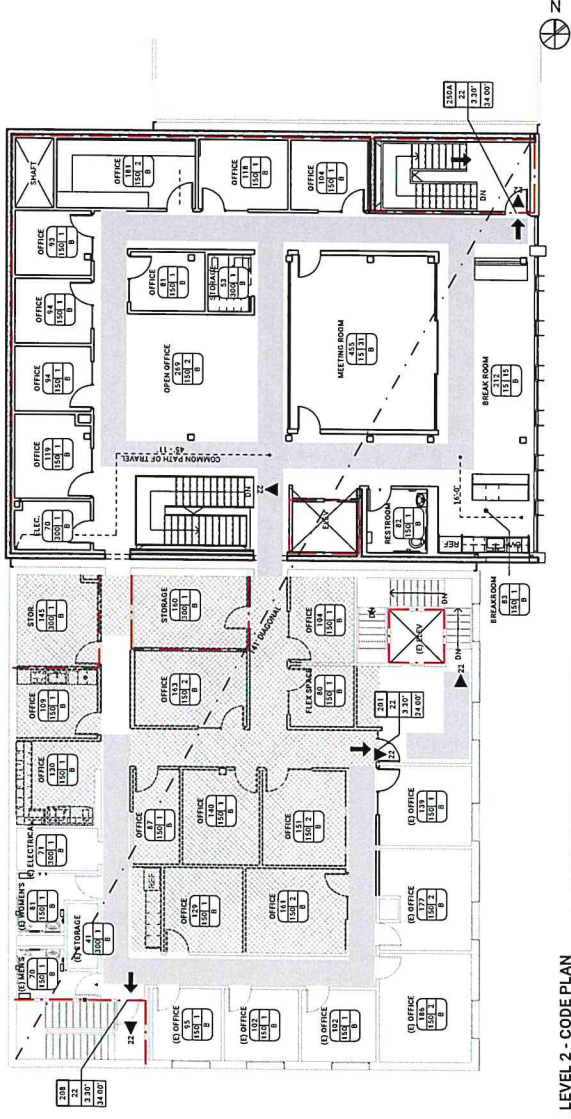
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A-533	ENLARGED ENTRY CANOPY	E-174A	FLOOR 66 LIGHTING PLAN - CITY HALL
A-534	ENLARGED ENTRY CANOPY	E-174B	FLOOR 66 LIGHTING PLAN - DSA
A-535	ENLARGED ENTRY CANOPY	E-175A	FLOOR 67 LIGHTING PLAN - CITY HALL
A-536	ENLARGED ENTRY CANOPY	E-175B	FLOOR 67 LIGHTING PLAN - DSA
A-537	ENLARGED ENTRY CANOPY	E-176A	FLOOR 68 LIGHTING PLAN - CITY HALL
A-538	ENLARGED ENTRY CANOPY	E-176B	FLOOR 68 LIGHTING PLAN - DSA
A-539	ENLARGED ENTRY CANOPY	E-177A	FLOOR 69 LIGHTING PLAN - CITY HALL
A-540	ENLARGED ENTRY CANOPY	E-177B	FLOOR 69 LIGHTING PLAN - DSA
A-541	ENLARGED ENTRY CANOPY	E-178A	FLOOR 70 LIGHTING PLAN - CITY HALL
A-542	ENLARGED ENTRY CANOPY	E-178B	FLOOR 70 LIGHTING PLAN - DSA
A-543	ENLARGED ENTRY CANOPY	E-179A	FLOOR 71 LIGHTING PLAN - CITY HALL
A-544	ENLARGED ENTRY CANOPY	E-179B	FLOOR 71 LIGHTING PLAN - DSA
A-545	ENLARGED ENTRY CANOPY	E-180A	FLOOR 72 LIGHTING PLAN - CITY HALL
A-546	ENLARGED ENTRY CANOPY	E-180B	FLOOR 72 LIGHTING PLAN - DSA
A-547	ENLARGED ENTRY CANOPY	E-181A	FLOOR 73 LIGHTING PLAN - CITY HALL
A-548	ENLARGED ENTRY CANOPY	E-181B	FLOOR 73 LIGHTING PLAN - DSA
A-549	ENLARGED ENTRY CANOPY	E-182A	FLOOR 74 LIGHTING PLAN - CITY HALL
A-550	ENLARGED ENTRY CANOPY	E-182B	FLOOR 74 LIGHTING PLAN - DSA
A-551	ENLARGED ENTRY CANOPY	E-183A	FLOOR 75 LIGHTING PLAN - CITY HALL
A-552	ENLARGED ENTRY CANOPY	E-183B	FLOOR 75 LIGHTING PLAN - DSA
A-553	ENLARGED ENTRY CANOPY	E-184A	FLOOR 76 LIGHTING PLAN - CITY HALL
A-554	ENLARGED ENTRY CANOPY	E-184B	FLOOR 76 LIGHTING PLAN - DSA
A-555	ENLARGED ENTRY CANOPY	E-185A	FLOOR 77 LIGHTING PLAN - CITY HALL
A-556	ENLARGED ENTRY CANOPY	E-185B	FLOOR 77 LIGHTING PLAN - DSA
A-557	ENLARGED ENTRY CANOPY	E-186A	FLOOR 78 LIGHTING PLAN - CITY HALL
A-558	ENLARGED ENTRY CANOPY	E-186B	FLOOR 78 LIGHTING PLAN - DSA
A-559	ENLARGED ENTRY CANOPY	E-187A	FLOOR 79 LIGHTING PLAN - CITY HALL
A-560	ENLARGED ENTRY CANOPY	E-187B	FLOOR 79 LIGHTING PLAN - DSA
A-561	ENLARGED ENTRY CANOPY	E-188A	FLOOR 80 LIGHTING PLAN - CITY HALL
A-562	ENLARGED ENTRY CANOPY	E-188B	FLOOR 80 LIGHTING PLAN - DSA
A-563	ENLARGED ENTRY CANOPY	E-189A	FLOOR 81 LIGHTING PLAN - CITY HALL
A-564	ENLARGED ENTRY CANOPY	E-189B	FLOOR 81 LIGHTING PLAN - DSA
A-565	ENLARGED ENTRY CANOPY	E-190A	FLOOR 82 LIGHTING PLAN - CITY HALL
A-566	ENLARGED ENTRY CANOPY	E-190B	FLOOR 82 LIGHTING PLAN - DSA
A-567	ENLARGED ENTRY CANOPY	E-191A	FLOOR 83 LIGHTING PLAN - CITY HALL
A-568	ENLARGED ENTRY CANOPY	E-191B	FLOOR 83 LIGHTING PLAN - DSA
A-569	ENLARGED ENTRY CANOPY	E-192A	FLOOR 84 LIGHTING PLAN - CITY HALL
A-570	ENLARGED ENTRY CANOPY	E-192B	FLOOR 84 LIGHTING PLAN - DSA
A-571	ENLARGED ENTRY CANOPY	E-193A	FLOOR 85 LIGHTING PLAN - CITY HALL
A-572	ENLARGED ENTRY CANOPY	E-193B	FLOOR 85 LIGHTING PLAN - DSA
A-573	ENLARGED ENTRY CANOPY	E-194A	FLOOR 86 LIGHTING PLAN - CITY HALL
A-574	ENLARGED ENTRY CANOPY	E-194B	FLOOR 86 LIGHTING PLAN - DSA
A-575	ENLARGED ENTRY CANOPY	E-195A	FLOOR 87 LIGHTING PLAN - CITY HALL
A-576	ENLARGED ENTRY CANOPY	E-195B	FLOOR 87 LIGHTING PLAN - DSA
A-577	ENLARGED ENTRY CANOPY	E-196A	FLOOR 88 LIGHTING PLAN - CITY HALL
A-578	ENLARGED ENTRY CANOPY	E-196B	FLOOR 88 LIGHTING PLAN - DSA
A-579	ENLARGED ENTRY CANOPY	E-197A	FLOOR 89 LIGHTING PLAN - CITY HALL
A-580	ENLARGED ENTRY CANOPY	E-197B	FLOOR 89 LIGHTING PLAN - DSA
A-581	ENLARGED ENTRY CANOPY	E-198A	FLOOR 90 LIGHTING PLAN - CITY HALL
A-582	ENLARGED ENTRY CANOPY	E-198B	FLOOR 90 LIGHTING PLAN - DSA
A-583	ENLARGED ENTRY CANOPY	E-199A	FLOOR 91 LIGHTING PLAN - CITY HALL
A-584	ENLARGED ENTRY CANOPY	E-199B	FLOOR 91 LIGHTING PLAN - DSA
A-585	ENLARGED ENTRY CANOPY	E-200A	FLOOR 92 LIGHTING PLAN - CITY HALL
A-586	ENLARGED ENTRY CANOPY	E-200B	FLOOR 92 LIGHTING PLAN - DSA
A-587	ENLARGED ENTRY CANOPY	E-201A	FLOOR 93 LIGHTING PLAN - CITY HALL
A-588	ENLARGED ENTRY CANOPY	E-201B	FLOOR 93 LIGHTING PLAN - DSA
A-589	ENLARGED ENTRY CANOPY	E-202A	FLOOR 94 LIGHTING PLAN - CITY HALL
A-590	ENLARGED ENTRY CANOPY	E-202B	FLOOR 94 LIGHTING PLAN - DSA
A-591	ENLARGED ENTRY CANOPY	E-203A	FLOOR 95 LIGHTING PLAN - CITY HALL
A-592	ENLARGED ENTRY CANOPY	E-203B	FLOOR 95 LIGHTING PLAN - DSA
A-593	ENLARGED ENTRY CANOPY	E-204A	FLOOR 96 LIGHTING PLAN - CITY HALL
A-594	ENLARGED ENTRY CANOPY	E-204B	FLOOR 96 LIGHTING PLAN - DSA
A-595	ENLARGED ENTRY CANOPY	E-205A	FLOOR 97 LIGHTING PLAN - CITY HALL
A-596	ENLARGED ENTRY CANOPY	E-205B	FLOOR 97 LIGHTING PLAN - DSA
A-597	ENLARGED ENTRY CANOPY	E-206A	FLOOR 98 LIGHTING PLAN - CITY HALL
A-598	ENLARGED ENTRY CANOPY	E-206B	FLOOR 98 LIGHTING PLAN - DSA
A-599	ENLARGED ENTRY CANOPY	E-207A	FLOOR 99 LIGHTING PLAN - CITY HALL
A-600	ENLARGED ENTRY CANOPY	E-207B	FLOOR 99 LIGHTING PLAN - DSA
A-601	ENLARGED ENTRY CANOPY	E-208A	FLOOR 100 LIGHTING PLAN - CITY HALL
A-602	ENLARGED ENTRY CANOPY	E-208B	FLOOR 100 LIGHTING PLAN - DSA
A-603	ENLARGED ENTRY CANOPY	E-209A	FLOOR 101 LIGHTING PLAN - CITY HALL
A-604	ENLARGED ENTRY CANOPY	E-209B	FLOOR 101 LIGHTING PLAN - DSA
A-605	ENLARGED ENTRY CANOPY	E-210A	FLOOR 102 LIGHTING PLAN - CITY HALL
A-606	ENLARGED ENTRY CANOPY	E-210B	FLOOR 102 LIGHTING PLAN - DSA
A-607	ENLARGED ENTRY CANOPY	E-211A	FLOOR 103 LIGHTING PLAN - CITY HALL

VICINITY MAP



CODE APPROACH

1. EXISTING CALLS FOR CHANGES TO EXISTING CITY HALL AND ADDITION OF AN ADDITION.
2. CONTRACT TYPE OF EXISTING AND ADDITION WILL BE VARY TYPE WILL MATCH BUSINESS OCCUPANCIES AND BUILDING RISK CATEGORY FOR EXISTING AND ADDITION.
3. EXISTING CITY HALL AND ADDITION WILL BE VARY TYPE WILL MATCH BUSINESS OCCUPANCIES AND BUILDING RISK CATEGORY FOR EXISTING AND ADDITION.
4. ADDITION FALL WITHIN THE ALLOWABLE CONSTRUCTION FOR A NON-SPRINKLED TYPE 18 BUILDING.
5. 25% ADA IMPROVEMENTS ARE REQUIRED TO THE EXISTING CITY HALL. THIS VALUE WILL BE CAPTURED BUT THE CONSTRUCTION OF AN ADA ACCESSIBLE ELEVATOR AND (3) ADA ACCESSIBLE RESTROOMS WHICH WILL BE SHARED.
6. PLUMBING COUNTS ARE BASED ON TOTAL OCCUPANT LOAD OF BOTH BUILDINGS.



EXISTING ROOM AREA OF CITY HALL:
FIRST FLOOR: 13,444 sf
SECOND FLOOR: 7,388 sf
TOTAL FLOOR AREA: 20,832 sf

RECONFIGURED SPACE OF CITY HALL (WORK AREA):
FIRST FLOOR: 1,774 sf
SECOND FLOOR: 1,339 sf
TOTAL: 3,113 sf

RECONFIGURED SPACE WORK AREA: 47%

SYMBOL LEGEND

- | ROOM NAME | ROOM NUMBER | AREA IN SQUARE FEET | OCCUPANT LOAD | USE FACTOR |
|-----------|-------------|---------------------|---------------|------------|
| OFFICE | 101 | 1,000 | 10 | 1.0 |
| OFFICE | 102 | 1,000 | 10 | 1.0 |
| OFFICE | 103 | 1,000 | 10 | 1.0 |
| OFFICE | 104 | 1,000 | 10 | 1.0 |
| OFFICE | 105 | 1,000 | 10 | 1.0 |
| OFFICE | 106 | 1,000 | 10 | 1.0 |
| OFFICE | 107 | 1,000 | 10 | 1.0 |
| OFFICE | 108 | 1,000 | 10 | 1.0 |
| OFFICE | 109 | 1,000 | 10 | 1.0 |
| OFFICE | 110 | 1,000 | 10 | 1.0 |
| OFFICE | 111 | 1,000 | 10 | 1.0 |
| OFFICE | 112 | 1,000 | 10 | 1.0 |
| OFFICE | 113 | 1,000 | 10 | 1.0 |
| OFFICE | 114 | 1,000 | 10 | 1.0 |
| OFFICE | 115 | 1,000 | 10 | 1.0 |
| OFFICE | 116 | 1,000 | 10 | 1.0 |
| OFFICE | 117 | 1,000 | 10 | 1.0 |
| OFFICE | 118 | 1,000 | 10 | 1.0 |
| OFFICE | 119 | 1,000 | 10 | 1.0 |
| OFFICE | 120 | 1,000 | 10 | 1.0 |
| OFFICE | 121 | 1,000 | 10 | 1.0 |
| OFFICE | 122 | 1,000 | 10 | 1.0 |
| OFFICE | 123 | 1,000 | 10 | 1.0 |
| OFFICE | 124 | 1,000 | 10 | 1.0 |
| OFFICE | 125 | 1,000 | 10 | 1.0 |
| OFFICE | 126 | 1,000 | 10 | 1.0 |
| OFFICE | 127 | 1,000 | 10 | 1.0 |
| OFFICE | 128 | 1,000 | 10 | 1.0 |
| OFFICE | 129 | 1,000 | 10 | 1.0 |
| OFFICE | 130 | 1,000 | 10 | 1.0 |
| OFFICE | 131 | 1,000 | 10 | 1.0 |
| OFFICE | 132 | 1,000 | 10 | 1.0 |
| OFFICE | 133 | 1,000 | 10 | 1.0 |
| OFFICE | 134 | 1,000 | 10 | 1.0 |
| OFFICE | 135 | 1,000 | 10 | 1.0 |
| OFFICE | 136 | 1,000 | 10 | 1.0 |
| OFFICE | 137 | 1,000 | 10 | 1.0 |
| OFFICE | 138 | 1,000 | 10 | 1.0 |
| OFFICE | 139 | 1,000 | 10 | 1.0 |
| OFFICE | 140 | 1,000 | 10 | 1.0 |
| OFFICE | 141 | 1,000 | 10 | 1.0 |
| OFFICE | 142 | 1,000 | 10 | 1.0 |
| OFFICE | 143 | 1,000 | 10 | 1.0 |
| OFFICE | 144 | 1,000 | 10 | 1.0 |
| OFFICE | 145 | 1,000 | 10 | 1.0 |
| OFFICE | 146 | 1,000 | 10 | 1.0 |
| OFFICE | 147 | 1,000 | 10 | 1.0 |
| OFFICE | 148 | 1,000 | 10 | 1.0 |
| OFFICE | 149 | 1,000 | 10 | 1.0 |
| OFFICE | 150 | 1,000 | 10 | 1.0 |
| OFFICE | 151 | 1,000 | 10 | 1.0 |
| OFFICE | 152 | 1,000 | 10 | 1.0 |
| OFFICE | 153 | 1,000 | 10 | 1.0 |
| OFFICE | 154 | 1,000 | 10 | 1.0 |
| OFFICE | 155 | 1,000 | 10 | 1.0 |
| OFFICE | 156 | 1,000 | 10 | 1.0 |
| OFFICE | 157 | 1,000 | 10 | 1.0 |
| OFFICE | 158 | 1,000 | 10 | 1.0 |
| OFFICE | 159 | 1,000 | 10 | 1.0 |
| OFFICE | 160 | 1,000 | 10 | 1.0 |
| OFFICE | 161 | 1,000 | 10 | 1.0 |
| OFFICE | 162 | 1,000 | 10 | 1.0 |
| OFFICE | 163 | 1,000 | 10 | 1.0 |
| OFFICE | 164 | 1,000 | 10 | 1.0 |
| OFFICE | 165 | 1,000 | 10 | 1.0 |
| OFFICE | 166 | 1,000 | 10 | 1.0 |
| OFFICE | 167 | 1,000 | 10 | 1.0 |
| OFFICE | 168 | 1,000 | 10 | 1.0 |
| OFFICE | 169 | 1,000 | 10 | 1.0 |
| OFFICE | 170 | 1,000 | 10 | 1.0 |
| OFFICE | 171 | 1,000 | 10 | 1.0 |
| OFFICE | 172 | 1,000 | 10 | 1.0 |
| OFFICE | 173 | 1,000 | 10 | 1.0 |
| OFFICE | 174 | 1,000 | 10 | 1.0 |
| OFFICE | 175 | 1,000 | 10 | 1.0 |
| OFFICE | 176 | 1,000 | 10 | 1.0 |
| OFFICE | 177 | 1,000 | 10 | 1.0 |
| OFFICE | 178 | 1,000 | 10 | 1.0 |
| OFFICE | 179 | 1,000 | 10 | 1.0 |
| OFFICE | 180 | 1,000 | 10 | 1.0 |
| OFFICE | 181 | 1,000 | 10 | 1.0 |
| OFFICE | 182 | 1,000 | 10 | 1.0 |
| OFFICE | 183 | 1,000 | 10 | 1.0 |
| OFFICE | 184 | 1,000 | 10 | 1.0 |
| OFFICE | 185 | 1,000 | 10 | 1.0 |
| OFFICE | 186 | 1,000 | 10 | 1.0 |
| OFFICE | 187 | 1,000 | 10 | 1.0 |
| OFFICE | 188 | 1,000 | 10 | 1.0 |
| OFFICE | 189 | 1,000 | 10 | 1.0 |
| OFFICE | 190 | 1,000 | 10 | 1.0 |
| OFFICE | 191 | 1,000 | 10 | 1.0 |
| OFFICE | 192 | 1,000 | 10 | 1.0 |
| OFFICE | 193 | 1,000 | 10 | 1.0 |
| OFFICE | 194 | 1,000 | 10 | 1.0 |
| OFFICE | 195 | 1,000 | 10 | 1.0 |
| OFFICE | 196 | 1,000 | 10 | 1.0 |
| OFFICE | 197 | 1,000 | 10 | 1.0 |
| OFFICE | 198 | 1,000 | 10 | 1.0 |
| OFFICE | 199 | 1,000 | 10 | 1.0 |
| OFFICE | 200 | 1,000 | 10 | 1.0 |
- THE FIRE RATES WALL
EXIT SIGN LOCATION - SEE ELECTRICAL FOR
ADDITIONAL INFORMATION
- 4" EGRESS PATH TO MEET ALL REQUIREMENTS OF
SECTION 1004.4 EMERGENCY LIGHTING ALONG
EGRESS PATHS. EMERGENCY LIGHTING SHALL BE
LOCATED AT THE FLOOR LEVEL AT ALL POINTS
ALONG THE EGRESS PATH. A MAXIMUM OF
100' SHALL NOT BE EXCEEDED.
- EGRESS PATH
COMMON PATH OF TRAVEL
EGRESS ACCESS
- EGRESS DISTANCE
EGRESS ACCESS TRAVEL DISTANCE
- AREA OF RECONFIGURED
SPACE WORK AREA

CODE PLANS

G-002

PERMIT SET



MARK	DATE	DESCRIPTION
APPROVED:		Aggometer
DRAWN:		J. Aggometer
DATE:	12.22.2021	
PROJECT NO.	240523	

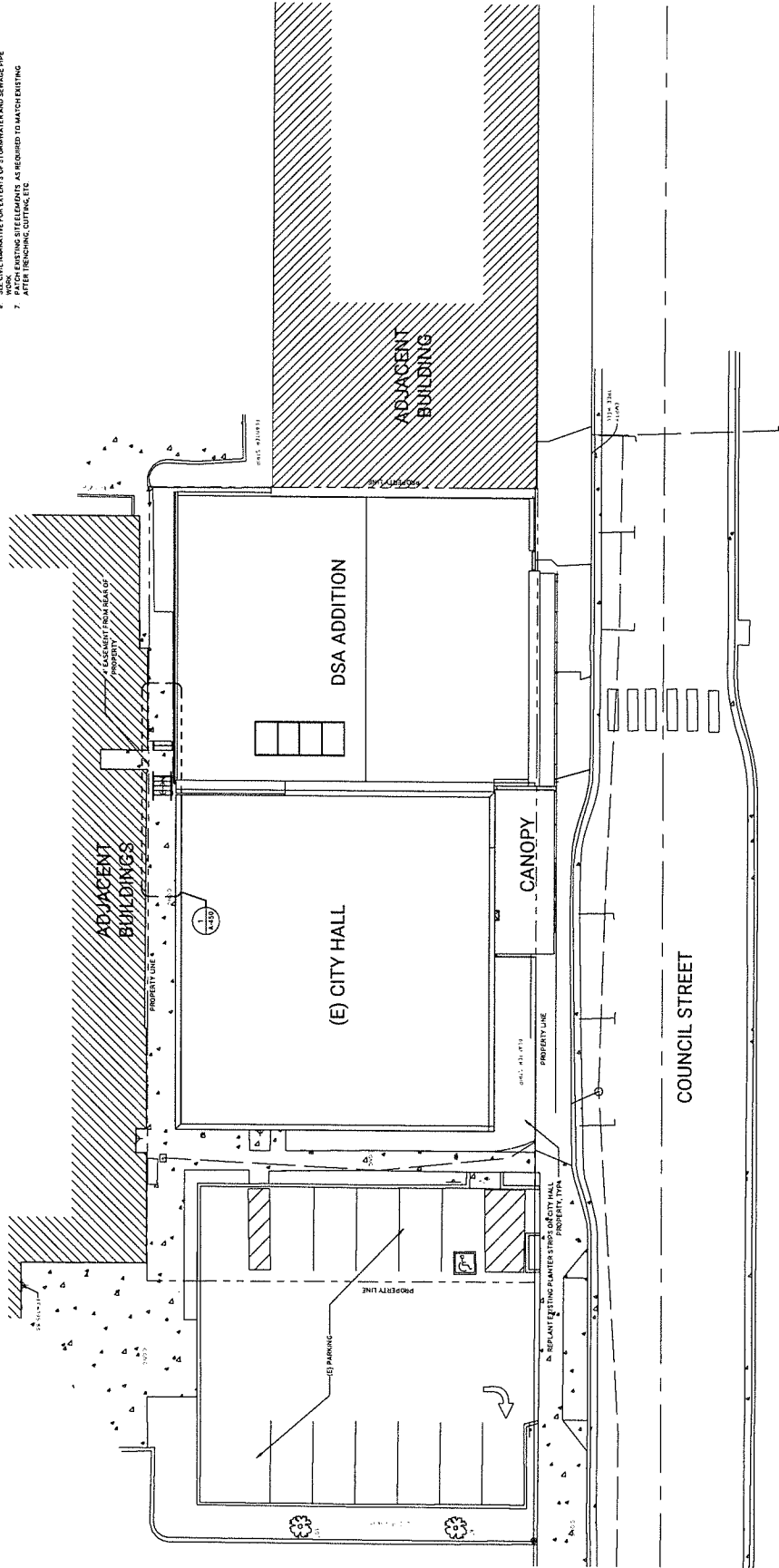
SITE PLAN

AS-100

PERMIT SET

SHEET NOTES

1. EXISTING FOREST GROVE CITY HALL AND ENGINEERING PROPERTIES TO BE MAINTAINED TO REMAIN AS IS.
2. EXISTING FOREST GROVE CITY HALL AND ENGINEERING PROPERTIES TO BE MAINTAINED TO REMAIN AS IS.
3. EXISTING FOREST GROVE CITY HALL AND ENGINEERING PROPERTIES TO BE MAINTAINED TO REMAIN AS IS.
4. EXISTING FOREST GROVE CITY HALL AND ENGINEERING PROPERTIES TO BE MAINTAINED TO REMAIN AS IS.
5. SEE ELECTRICAL, MECHANICAL AND PLUMBING FOR DETAILS OF EXISTING AND NEW WORK.
6. SEE CIVIL/PAVING FOR DETAILS OF EXISTING AND NEW WORK.
7. AFTER TRENCHING, CUTTING, ETC.



1A ARCHITECTURAL SITE PLAN

EXHIBIT D

SITE DEVELOPMENT AND DESIGN REVIEW ANALYSIS
AND CONCLUSIONS

EXHIBIT D

DESIGN REVIEW ANALYSIS AND CONCLUSIONS

Design Review Criteria A: Projects shall be evaluated based on the development standards of the applicable zoning district and any overlay district

Analysis: The project is located within the Town Center Transition zoning district. As shown on the Town Center Use Table (Development Code §17.3.420, Table 3-12) the Town Center Transition zone allows offices as a permitted use. Development Code §17.3.430 contains the development standards for the Town Center Transition zone. Within the Town Center Transition zone, buildings must be at least 16 feet in height and no more than 4 stories in height. The minimum allowed building setback is 0 feet and the maximum allowed building setback is 15 feet. At least 5% of the lot must be landscaped including planters, hanging baskets and architectural features such as benches and water fountains that are supportive of the Town Center pedestrian environment. Five percent of the lot area equates to approximately 560 square of required landscaped area. Including the planter area adjacent to the City Hall building and landscaping along the south property line the City Hall lot includes approximately 650 square feet landscaping. With this amount of landscaping the lot complies with the 5% landscaping requirement.

The both the City Hall building and proposed development services annex are taller than 16 feet in height and do not exceed four stories. Both the City Hall building and proposed development services annex will be two stories in height. Therefor the project meets the height requirements.

The City Hall building is setback about five feet from the public right-of-way. The proposed development services annex will be constructed adjacent to the public right-of-way. Therefore, the project meets the building setback requirements.

Design Review Criteria B: The general development standards of Development Code Article 8

The applicant has requested project review based on the Town Center design guidelines and not the design standards contained in Article 8. Therefore, staff finds that Design Review Criteria B does not apply to this project review.

Design Review Criteria C: Departures from code requirements may be permitted as part of a Track 2 Design Review Process, when the following criteria are met:

- i. The design guidelines contained in the applicable section of the Design Guideline Handbook are adequately addressed.
- ii. The applicant demonstrates that the overall development would result in a development that better meets the intent of the design guidelines than a design that simply meets the code.

The following sections address the design guidelines that apply to the proposed project:

SITE – BUILDING ORIENTATION

Guideline – *Design and construct buildings oriented to a public street right-of-way to create safe, pleasant and active pedestrian environments.*

Description – Development in the town center area should create a well-defined, safe, attractive and active pedestrian environment. Zero lot line development should be encouraged in all town center zones, particularly the Town Center Core. Parking should be behind or to the side of buildings, so as to not obstruct pedestrian pathways to the front door of buildings. If buildings are setback from the sidewalk, the area in front of the building should be well landscaped or used as an expanded sidewalk area or a pedestrian plaza.

Recommended

- Minimize building setbacks from any public street right-of-way. Zero lot line buildings along the public street right-of-way are encouraged to maintain an inviting and continuous storefront presentation.
- Design and construct a primary building entrance for each building façade. If a building has frontage on more than one public street, a single building entrance on the corner is acceptable.
- Use the area between the right-of-way and building to create a plaza court, planter area, bicycle parking or another amenity.
- Main entrance should be oriented to the street.

Not Recommended

- Parking located between the building façade and the street.
- Excessive front setbacks (greater than 10 feet).
- Storage in front of building façade.

Applicant Statement

Building setbacks are minimized with the Development Services Annex addition being placed as a zero lot line building along Council Street.

The primary building entrance is located on Council Street and oriented to allow for ADA access.

Staff Analysis

The proposed development services annex is to be located adjacent to the sidewalk consistent with the Fry's Athletic building adjacent and to the north of the site. The existing City Hall building will remain with the planter strip between the sidewalk and the building. The proposed project design is consistent with the intent of the building orientation design guideline by constructing the new development services annex oriented to the public street right-of-way.

SITE – PEDESTRIAN CONNECTIONS

Guideline – *Develop continuous pedestrian connections that are attractive and convenient.*

Description – The Town Center area must maintain a clear and comfortable separation between vehicles and pedestrians. Where vehicles and pedestrians must share the same space, pedestrian safety and comfort must not be compromised. Sidewalks should be continuous and free of barriers.

Recommended

- Design and locate buildings and off-street parking within the Town Center to reinforce the district's traditional pedestrian orientation.
- Separate walkways from vehicle areas by landscaping, bollards or changes in elevation.
- Provide landscaped pedestrian walkways for direct, convenient mid-block connections.
- Separate or screen pedestrians from nuisances, such as mechanical equipment, dumpsters, and loading areas.
- Enclose trash and recycling areas.

Not Recommended

- Parking located between the building façade and the street.
- Pedestrian route obstructions such as landscape planters, utility poles, boxes or other mechanical infrastructure.

Applicant Statement

Parking is existing and adjacent to the development.

Sidewalks are separated from parking by curbs.

Trash and Recycling area is on an adjacent property and enclosed.

Staff Analysis

The proposed design of the development services annex complements the traditional pedestrian orientation of buildings in the Town Center since the building will be adjacent to the existing sidewalk. In addition, the existing parking for City motor pool vehicles is located to the side of the existing City Hall building and not between the building façade and the street providing separation between vehicles and pedestrians. No new obstructions such as landscape planters, utility poles, boxes or other mechanical infrastructure that could obstruct pedestrians are proposed.

The primary entrance for City Hall and the Development Services Annex is mostly glazed and oriented to Council Street. The project design includes a new vestibule at the City Hall entrance to directly connect to the sidewalk.

SITE – AMENITIES

Guideline – Protect pedestrians from wind, sun and rain and provide courtyards or other outdoor spaces to create a comfortable environment for meeting and sitting.

Description – Pedestrians should be protected from the elements, to encourage use of the Town Center during inclement weather. The design of awnings and canopies should be integral and well-proportioned to the facades of buildings. Street furniture, such as benches, lamps and landscape planters should be provided.

Recommended

- Provide weather protection above sidewalks in the form of awnings or other building elements appropriate to the design of the structure.
- Canvas fixed or retractable awnings or horizontal metal canopies.
- Seating areas near retail establishments.
- Courtyards, squares, forecourts, and plazas with active adjacent ground-floor uses.

Not Recommended

- Awnings with vinyl or synthetic fabrics, plastic, backlit, or with oversized lettering.
- Seating areas adjacent to loading, service bays or storage areas.
- Seating areas that are hidden, secluded, dark or unsecured spaces behind or on the side of buildings.

Applicant Statement

The City Hall building is existing to remain, and the Development Services Annex addition is a zero-lot line building, so there are no opportunities for exterior court yards or seating. However, weather protection is provided above the sidewalk through a horizontal metal canopy with a wood soffit that connects City Hall to the Development Services Annex addition.

Staff Analysis

The project design includes a metal canopy that is integral and proportioned to the façade of the buildings. The canopy is designed to visually tie together both the existing City Hall and the Development Services Annex.

The canopy stretches across 75% of the façade of the Development Services Annex and 33 feet across the existing City Hall. This will provide significantly more weather protection than the existing awning over the current City Hall entrance. The canopy design will protect pedestrians from wind, sun and rain.

The project as proposed does not incorporate street furniture or outdoor gathering space due to the zero lot line design. A bike rack for parking at least two bicycles is required and must be incorporated into the design.

Façade Current City Hall



Façade Current Engineering Building



Façade Proposed Building



BUILDING – FACADES

Guideline – All buildings shall contribute to the storefront character and visual relatedness of town center buildings.

Description – Facades should define a continuous street edge, while adding visual interest and variety for the pedestrian. Building frontages should provide a sense of continuity and enclosure to the street, creating a human-scale “street wall.”

Recommended

- Walls that have a comfortable rhythm of bays, columns, pilasters or other articulations.
- Facades should be taller than one-story to create a sense of enclosure along the sidewalk.
- Architectural elements such as towers, roof parapets.
- Well-detailed cornices of significant proportions to create visual interest and shadow lines.
- Vertical elements that break up long, monolithic building facades along the street.
- Regularly spaced and similar-shaped windows with window trim on all building stories.
- Bay windows on second story or higher floor levels.
- Screen mechanical equipment.

Not Recommended

- Blank walls at street level.
- Unarticulated rooflines.
- Exposed rooftop mechanical equipment, electrical units or telecommunication equipment.

Applicant Statement

Façade walls have a rhythm of bay's and windows and the lower and second level.

Façade is 2-stories tall.

The façade includes sunshades and an architectural metal feature around the second floor windows to increase a sense of depth and shadow lines.

The façade is broken up with a rhythm on the first floor, and vertically oriented windows with sunshades on the second floor.

Mechanical equipment is set back from the primary façade and should not be visible from Council Street.

Facades not visible from Council Street will be constructed primarily out of CMU and Concrete and be painted with elastomeric paint for weather resistance.

Staff Analysis

The façade is designed to provide a continuous edge. The façade is two -story and provides enclosure along the sidewalk. The design includes architectural elements such as roof parapets.

BUILDING – RETAIL STOREFRONTS

Guideline – *Storefronts should appear open, inviting and engaging to the passerby.*

Description – Retail and other commercial establishments should provide windows and doors offering views in and out of the building so passersby may see activity within buildings.

Recommended

- Storefronts should be designed to encourage a lively streetscape with clear windows, window displays.
- Clerestory or transom windows above storefronts are recommended.
- Entry ways with multiple doors, windows, architecture details and ornate hardware.
- Sliding, overhead or other operable windows for restaurants or other active uses.

Not Recommended

- Blank walls.
- Windows that are too small to provide views in and out.
- Tinted, opaque or reflective glazing on windows or doors.
- Solid metal or wood doors with small or no windows.
- Featureless entryways (doors flush with building facades, no architectural details, etc.)
- Windows with residential-type multiple lights or divisions.
- Windows that have a greater horizontal than vertical dimension.

Applicant Statement

First and second floor windows allow views to programmed lobbies and active office spaces on the interior.

Entries are glazed doors.

Windows comprised of storefront and curtainwall throughout are primarily tinted only as code required for solar heat gain. Small sections at Floor 2 have a 50% frit pattern for modesty and to reinforce verticality in the glazing, and a row of spandrel at the roof line to hide structural elements.

Clear ground floor windows provide views to interior active use spaces which were strategically placed along the East façade to maximize visual connections between the street and building. Lower level windows are designed to create a regular vertical rhythm that is reflected with the glazing above. Glazing curtain-wall panels will be set within metal mullions to reinforce a sense of depth.

Staff Analysis

The building design incorporates glazing curtain wall panels offering views into and out of the building. The large windows provide for views into the building adding to visual interest. The openness of the design seems intended to engage passersby. For these reasons staff finds the proposed design is consistent with and complies with the retail storefront design guideline.

BUILDING - ENTRIES

Guideline – *Entryways should be clearly visible and recognizable from the street, and appear open and inviting to the pedestrian.*

Description – The primary entry into buildings should be clearly recognized from the street. Additional architectural details, such as sidelights or transoms surrounding doorways are encouraged. Transparency between retail storefronts and the sidewalk is encouraged to create visibility from the street.

Recommended

- Entryways that project or are recessed from their surrounding building façades.
- Visible frame or trim detail surrounding the entry.
- Transom, sidelights and other detailed window surrounds at the front entry.
- Doors combined with special architectural detailing.
- Well detailed doors with ornate hardware.

Not Recommended

- Solid metal or wood doors with small or no windows.
- Doors flush with building façade.
- Unpainted metal frames.
- Glazing with simulated divisions.
- Reflective, opaque or tinted glazing.

Applicant Statement

Entries are defined by a canopy that projects from the building, but simultaneously creates a sense of being recessed under the canopy.

Entries are painted storefront with visible face profiles of 2", and an overall mullion depth of 4+-4 ½".

Entry doors have large architectural pulls for hardware.

The primary building entrance is nearly fully glazed and oriented to the street. A new vestibule on the City Hall extends across the façade to directly connect to the pedestrian sidewalk, providing recessed entrances to the building adding architectural interest.

Staff Analysis

The proposed design includes a redesigned City Hall entry incorporating a vestibule connecting the entry with the sidewalk. The proposed vestibule makes the City Hall entry visible and recognizable from the street. By incorporating glazing the entry should appear open and inviting to the pedestrian. For these reasons staff finds the proposed design meets the intent and complies with the building entryway design guideline.

BUILDING - RESIDENTIAL ENTRIES

Guideline – *Residential entries should create an inviting transition between public and private areas.*

Description – Residential doors in the town center should provide a well-defined transition between the public and private realm. They should convey a sense of privacy while expressing a welcome entryway for those who approach. The design of the door should response to the level of activity along the street.

Recommended

- Multi-panel doors.
- Transom windows and sidelights.
- Durable, high quality metal door hardware.
- Wood solid core doors.
- Entries separated from the street by semi-private transition areas such as porches, terraces, stoops or canopy-covered doorways.

Not Recommended

- Sliding glass doors.
- Doors flush with building façade.
- Doors raised more than three feet above sidewalk (e.g. rowhouse type housing with garage below)
- Door not directly accessed from the street or an entry courtyard.
- Front door access from parking lots.

Applicant Statement

Section not applicable.

Staff Analysis

The proposed project is for the City Hall remodel and construction of a new building replacing the current Engineering Division office. The project does not include residential uses. As such, staff this design guideline does not apply.

BUILDING – WINDOWS

Guideline – *Use windows to create an open and inviting atmosphere.*

Description - Retail uses should provide windows that create visual interest and encourage people to visit restaurants and shops. Blank walls should be avoided.

Recommended

- The majority of the ground floor building façade should contain windows.
- Multiple windows should be provided on the front façade above the main floor in a uniform pattern.
- Window should be oriented vertically with rectangular shapes.
- Frame openings with trim around windows and doors.
- If used, door and window shutters should be sized to cover the entire window.
- “Punched” window openings recessed rather than flush with the building façade.

Not Recommended

- Tinted or reflective glass and glass block.
- Spandrel or other contemporary glazing (i.e. glass surface smoothly and uniformly covering structural elements).

Applicant Statement

The City Hall Building is existing and little can be done about the windows, but the design adds a glazed lobby enhancing the amount of glazing on the façade. Floor to ceiling glazing has been added where possible, however grade changes at the Development Services Annex addition largely eliminate this possibility. Together the City Hall and Development Services Annex addition facades and entries along at Council Street provide about 45% glazing at floor 1, and 40% glazing at Floor 2 (second floor of the Development Services Annex addition is nearly 70% glazing).

Floor 1 and Floor 2 windows reflect proportional patterning, are rectangular, and oriented vertically.

Existing City Hall windows will remain as-is or replaced with storefront at the entry as shown.

City Hall and Development Services Annex entry windows are storefront painted a dark bronze with a 2” tall and 4”-4 1/2” profile. The face of glass is oriented towards the exterior to better match the Curtainwall.

The Development Services Annex addition windows are curtainwalls also painted dark bronze with 2" profiles and 6" mullion depths. The face of glass for both the Curtainwalls is recessed 1 ½"-2" from adjacent wall surfaces on the lower level, and 12" from the adjacent metal Architectural feature on floor 2. At floor 2 the depth and rhythm is further accentuated by the use of vertical sunshades.

Staff Analysis

The majority of the front building façade for the proposed development services annex incorporates windows. Through the use of trim, the windows appear vertical with a uniform pattern. The design shows the windows at the existing City Hall building will be retained. Staff finds the proposed design for the proposed development services annex meets the intent and complies with the building windows design guideline.

BUILDING – EXTERIOR WALLS

Guideline – *Use materials that are compatible with the character of Forest Grove and create a sense of permanence.*

Description – Materials used should be consistent with the existing buildings in the Town Center. Quality wall materials provide a sense of permanence and should be applied to create a sense of substance and mass.

Recommended

- Quality materials such as brick, stone and natural wood.
- Applications that create depth, such as recessed windows and doors.
- Establish a single clearly dominant exterior wall material and finish.
- Belt courses and medallions.
- Consider the following materials:
 - TCC: Brick or stone masonry.

TCT: Brick or stone masonry; cement-based stucco; lap siding; board and batten siding; shingles and shakes.

Not Recommended

- Brick or stone veneer
- Vinyl or metal siding.
- Flagstone, simulated river rock or other similar veneer cladding.
- Simulated stucco cladding (such as EIFS/Dryvit) at ground level.
- Concrete masonry block at ground level.

Applicant Statement

The existing City Hall exterior is to remain, but the intent is to paint it (budget dependent).

The exterior walls of the Development Services Annex addition are made of quality materials throughout. The dominant opaque material on the façade is brick, with base of board form concrete (required for sub-grade conditions due to waterproofing). The rest of the façade is comprised of previously discussed Curtainwalls, Storefront, and dark bronze architectural metal panel. The Canopy is constructed out steel painted dark bronze with a 1x6 red cedar soffit.

Depth is created through the use of sunshades, and an architectural metal feature around the second floor windows.

Staff Analysis

The design narrative indicates a variety of building materials will be used. This includes brick identified as the primary material. Brick is characteristic of many existing buildings in downtown Forest Grove including the buildings on Main Street. Brick is also the dominant building material for the existing City Community Auditorium building adjacent to the City Hall and development services annex site.

The use of brick conveys a sense of permanence since brick tends last longer than other materials such as wood. Brick and glazing are the dominant materials for the development services annex façade. The prominence of the glazing establishes a dominant exterior material. For these reasons, staff finds the proposed design for the development services annex meets the intent and complies with exterior wall design guideline.

BUILDING LANDSCAPE - WALLS AND FENCES

Guideline – *Site walls and fences should be compatible with the building architecture and reflect the commercial character of the development.*

Description – Walls and fences should be considered integral parts of the building and site, compatible with the overall design.

Recommended

- Site wall and landscaped planter box materials and character should generally match or provide compatibility with the adjoining building materials and historic character.
- Preferred materials include: brick and stone masonry; cast-in-place concrete or architectural finished exposed concrete; cementitious-based stucco over masonry or concrete substrate; solid wood pickets, lattice and boards; or painted welded metal or wrought iron.

Not Recommended

- Plastic fence materials
- Chain-link fences
- Precast concrete
- Railroad ties or other rustic wood materials.

Applicant Statement

The development is a zero-lot line building and existing City Hall building. The design does not call for any fences. Small concrete site walls are located at the rear and between buildings consist of cast in place concrete but won't appear as more than curbs.

Staff Analysis

No site walls or fences are proposed except for the building walls. Since not perimeter site walls or fences are proposed staff finds the design guideline for walls and fences does not apply to this application.

LIGHTING – EXTERIOR BUILDING

Guideline – *Lighting should be an integral component of the building architecture.*

Description – Lighting should be used to highlight the design of buildings while improving visibility of entryways and enhance safety. Lighting should not spill onto neighboring properties or cast glare which will decrease the safety of pedestrians or vehicles.

Recommended

- Lighting which adds visual interest and highlights aspects of the building.
- Decorative wall sconce and similar architectural lighting features.
- Lighting fixtures which are integrated with and highlight landscaping.

Not Recommended

- Lights which create glare onto adjacent streets and properties.
- Neon silhouette accent lighting.
- Bulb or flash lighting
- Fluorescent tube lighting
- Security spotlight

Applicant Statement

Lighting of the building is integrated with the canopy to light the pedestrian walkway and prevent "dark corners". Lighting is directed downward at the sidewalk and entries.

Staff Analysis

The design proposes use of exterior lighting integrated with the metal canopy to light the sidewalk. The applicant proposes to integrate lighting that is directed downward toward the sidewalk and entries. For these reasons staff finds the proposed design complies with and meets the design guideline for exterior lighting.

LIGHTING – PARKING LOT

Guideline – *Light should be compatible with downtown streetlights identified in the Public Area Requirements.*

Description – Parking lot lighting should be provided for vehicular and pedestrian safety. Lighting should be integrated and compatible with the site and building design.

Recommended

- Light poles should be dark green or black
- Standards should accommodate banners and hanging flower pots (with drip irrigation systems)
- Light standards should be located in landscaped areas when possible to protect fixtures from automobile damage.
- Lights should be shorter than two-stories in height.

Not Recommended

- Tall concrete light fixture bases.
- Cobra-head lights.
- Lighting which spills into residential areas.
- Ornamental or contemporary light fixtures which are incompatible with downtown street light standards.

Applicant Statement

Existing parking lot is to remain. No additional parking is being incorporated.

Staff Analysis

The proposed project does include additional parking. No parking is required for office uses in the Town Center Transition zone.

LIGHTING – SIDEWALK AND LANDSCAPE

Guideline – *Lighting should be used to highlight sidewalks, street trees and other landscape features. Landscape lighting is appropriate as a way to provide pedestrian safety.*

Description – Lights may be used highlight features within public and private plazas, courtyards, walkways and other outdoor areas at night to create an active and safe environment.

Recommended

- Seasonal lights on buildings and trees.
- Foot lighting that illuminate walkways and stairs.
- Fixtures concealed and integrated into the design of buildings and site landscaping elements.
- Bollard lighting that is directed downwards toward walkways.

Not Recommended

- Flashing or colored lights
- Exposed cords, outlets or other electrical devices that may provide safety hazards and are unsightly.
- Contemporary fixtures or utilitarian fixtures such as “cobra-head” lights.

Applicant Statement

Lighting is integrated in the canopy and will illuminate the walkway and building entry.

Landscape requirements are met through existing green spaces on the City Hall Property to remain, however a street tree is being relocated and will incorporate power for seasonal tree lighting.

Staff Analysis

The design proposes use of exterior lighting integrated with the metal canopy to light the sidewalk. The applicant proposes to integrate lighting that is directed downward toward the sidewalk and entries. For these reasons staff finds the proposed design complies with and meets the design guideline for sidewalk and landscaping lighting.

LIGHTING - SIGNS

Guideline – *Sign lighting should be designed as an integral component of the building and sign composition.*

Description – The lighting of signs should be considered a part of the building architecture and site design and should be used to create visual interest.

Recommended

- “Gooseneck” lighting that illuminates wall signs.
- Sign silhouette backlighting.
- Incandescent or fluorescent bulb or low-voltage lighting.

Not Recommended

- Backlighting of vinyl awning signs
- Interior plastic sign lighting
- Metal halide, neon or fluorescent tube sign lighting.
- Signs containing exposed electrical conduit, junction boxes or other electrical infrastructure.

Applicant Statement

The City Hall building sign is integrated with the canopy, and incorporates silhouette backlighting. The sign will be made of extruded aluminum and be painted dark bronze to match the canopy and metal on the façade.

Staff Analysis

As noted by the applicant, the proposed City Hall sign is integrated with the metal canopy. The applicant proposes incorporating silhouette backlighting. The applicant must apply for a sign permit providing detailed specifications for the sign and lighting. The sign permit ensures the proposed design meets the applicable Development Code and Building Code requirements.

SIGNS – WALL

Guideline – Signs should not overwhelm the building or any special architectural features.

Description – Signage in the Town Center should communicate information to potential customers while enhancing the building architecture and overall streetscape. Signs should not render the building a backdrop for advertising or building identification.

Recommended

- Signs should identify the name of the building or major tenant only.
- Signs should be incorporated into the building architecture as embossing, low relief casting, or application to wall surfaces.
- Sign should be durable and long lasting
- Sign should be located as panels above storefronts, on columns, or on walls flanking doorways.

Not Recommended

- Plastic or backlit signs
- Oversized signs
- Signs oriented primarily to motorists
- Advertisement for products or services.
- Roster boards for building with multiple tenants

Applicant Statement

The City Hall building sign is integrated with the canopy, and incorporates silhouette backlighting. The sign will be made of extruded aluminum and be painted dark bronze to match the canopy and metal on the façade.

Staff Analysis

No walls are proposed at this time.

SIGNS – HANGING OR PROJECTING

Guideline – *Hanging signs should be oriented to the pedestrian and highly visible from the sidewalk.*

Description - Signs should not overwhelm the streetscape and should be complementary to the building architecture and any awnings canopies, lighting and street furniture.

Recommended

- Signs should identify the name of the building or major tenant only.
- Sign lighting should be integrated into the façade.
- Sign should be durable and long lasting
- Signs should not obstruct sidewalks or hang low enough to create hazards.

Not Recommended

- Plastic, internally lit or backlit signs
- Advertising or temporary signs.
- Signs oriented primarily to motorists
- Hanging banners or flags.

Applicant Statement

No statement provided.

Staff Analysis

No hanging or projecting signs are proposed at this time.

SIGNS – WINDOW

Guideline – *Window signs should identify building or tenant use without obstructing views through windows.*

Description – Window signs should not be used to advertise specific products or services, but should simply identify the name or nature of business operation. Window signs should be oriented to the pedestrian on the adjacent sidewalk. Large signs or large lettering intended to attract attention from passing vehicles is not appropriate.

Recommended

- Interior applied lettering or graphics.
- Interior neon or other illumination.

Not Recommended

- Exterior neon, flashing or moving signs.
- Window advertising signs that obscure more than 25% of window area.

Applicant Statement

No statement provided.

Staff Analysis

No window signs are proposed at this time.

SIGNS – INFORMATION AND DIRECTIONAL

Guideline – *Directional signs should be small scale and dimensions, logically located and should not be used for advertising.*

Description – Signs should be consistent throughout the project and fabricated from the same materials with a consistent colors and graphics. The materials used should be compatible with adjacent architectural design.

Recommended

- Low-scaled signs.
- Located at entries to parking lots, service areas, or pedestrian areas.
- Sign should be durable and long lasting.
- Signs should not obstruct sidewalks.
- Compatible with adjacent architecture and streetscape elements.

Not Recommended

- Large signs.
- Sign with advertising (logo is acceptable)
- Internally illuminated.
- Overly exuberant or wildly contrasting colors or graphics.

Applicant Statement

No statement provided.

Staff Analysis

No information or directional signs are proposed at this time.

SIGNS – TEMPORARY

Guideline – *Signs which identify a short-term use or activity should be consistent with the design character of the surrounding architecture.*

Description - Small portable temporary signs (e.g. sandwich boards) should be used when businesses are open and located in close proximity to the related business. Signs should not obstruct pedestrian access or conflict with the visually quality and character of the town center.

Recommended

- Easels and chalkboards.
- Sandwich boards.
- Small professionally painted and designed sandwich boards.
- Compatible with adjacent architecture and streetscape elements.

Not Recommended

- Signs which obstruct pedestrian access.
- Poor quality “home-made” looking signs.

Applicant Statement

No statement provided.

Staff Analysis

No temporary signs are proposed at this time.

Site Development Review Criteria A: The site development plan complies with all applicable standards of the base zoning district, any overlay district and applicable general development standards of Article 8.

Staff Analysis: The project is located within the Town Center Transition zoning district. As shown on the Town Center Use Table (Development Code §17.3.420, Table 3-12) the Town Center Transition zone allows offices as a permitted use. Development Code §17.3.430 contains the development standards for the Town Center Transition zone. Within the Town Center Transition zone, buildings must be at least 16 feet in height and no more than 4 stories in height. The minimum allowed building setback is 0 feet and the maximum allowed building setback is 15 feet. At least 5% of the lot must be landscaped including planters, hanging baskets and architectural features such as benches and water fountains that are supportive of the Town Center pedestrian environment. Five percent of the lot area equates to approximately 560 square of required landscaped area. Including the planter area adjacent to the City Hall building and landscaping along the south property line the City Hall lot includes approximately 650 square feet landscaping. With this amount of landscaping the lot complies with the 5% landscaping requirement.

The both the City Hall building and proposed development services annex are taller than 16 feet in height and do not exceed four stories. Both the City Hall building and proposed development services annex will be two stories in height. Therefor the project meets the height requirements.

The City Hall building is setback about five feet from the public right-of-way. The proposed development services annex will be constructed adjacent to the public right-of-way. Therefore, the project meets the building setback requirements.

The applicant has requested project review based on the Town Center design guidelines and not the design standards contained in Article 8. Therefore, staff finds that Design Review Criteria B does not apply to this project review.

Site Development Review Criteria B: The site development plan ensures reasonable compatibility with surrounding uses as it relates to the following factors:

- i. Building mass and scale do not result in substantial visual and privacy impacts to nearby residential properties; and
- ii. Proposed structures, parking lots, outdoor use areas or other site improvements that could cause substantial off-site impacts such as noise, glare and odors are oriented away from nearby residential uses and/or adequately mitigated through other design techniques.

Site Development Review Criteria C: The site development plan preserves or adequately mitigates impacts to unique or distinctive natural features including, but not limited to:

- iii. Significant on-site vegetation and trees
- iv. Prominent topographic features, and
- v. Sensitive natural resource areas such as wetlands, creek corridors and riparian areas.

Staff Analysis: The site does not include unique or distinctive features including significant on-site vegetation and trees, prominent topographic features, or sensitive natural resources such as wetlands, creek corridors and riparian areas.

Site Development Review Criteria D: The site development plan preserves or adequately mitigates impacts to designated historic resources.

Staff Analysis: Several eligible contributing historic resources area near the City Hall and development services annex site. Resources include:

- 2016 Pacific Avenue (Hoffman Building/now Frye's Action Athletics)
- 2026 Pacific Avenue (JN Hoffman Building/now a law office)
- 2028 Pacific Avenue (Star Theatre/now Theatre in the Grove)

The proposed design for the new development services annex includes design elements and architectural features representative of historic buildings in downtown Forest Grove. Design elements include vertical windows and brick masonry. Architectural features include a metal canopy and building parapet. Incorporating these design elements and architectural features reduces potential conflicts that a modern building may have on existing historic buildings.

Site Development Review Criteria E: The site development plan provides adequate right-of-way and improvements to abutting streets to meet the street standards of the city. This may include, but not be limited to, improvements to the right-of-way, sidewalks, bikeways and other facilities needed because of anticipated vehicular and pedestrian traffic generation.

Staff Analysis: The City Hall and development services annex is located adjacent to Council Street. Council Street is fully developed and no additional right-of-way is required. The Council Street cross-section includes sidewalk on travel lane for one way traffic and on-street parking.

Site Development Review Criteria F: The site development promotes safe, attractive and usable pedestrian facilities that connect building entrances, public sidewalks, bicycle and auto parking spaces, transit facilities and other parts of a site or abutting properties that may attract pedestrians.

Staff Analysis: The existing City Hall building is located close to the public right-of-way consistent with the pedestrian-orientation of buildings in downtown Forest Grove. The proposed development services annex will be built adjacent to the public right-of-way. The building design includes a metal canopy providing weather protection for pedestrians. The proposed canopy extends across 75% of the City Hall and development services annex façade. In addition, a new City Hall entrance including a vestibule is proposed that will directly connect to the sidewalk.

The proposed building design includes clear ground floor windows providing views to interior spaces to maximize visual connections between the sidewalk and building.

The design features described above are consistent with promoting a safe, active and useable pedestrian facilities that may attract pedestrians.