



Site Plan and Design Review Staff Report and Recommendation

Community Development Department, Planning Division

REPORT DATE: March 26, 2021

HEARING DATE: April 5, 2021

LAND USE REQUEST: Site plan approval and design review of a proposed 6-building 36-unit apartment complex

FILE NUMBER: 311-21-000002-PLNG

PROJECT NAME: None - To Be Determined

PROPERTY LOCATION: 2524 Main Street

LEGAL DESCRIPTION: Washington County Tax Lots 1N331CB02000, 2100, 2200 and 2300

APPLICANT: Carleton Hart Architecture (Carolyn Kruger)
830 SW 10th Avenue #200
Portland, Oregon 97205

OWNER: DCM Communities, LLC
16715 SE Evergreen Lane
Oak Grove, Oregon 97267

**COMPREHENSIVE PLAN
MAP DESIGNATION:** High Density Residential (HDR)

**ZONING MAP
DESIGNATION:** Residential Multi-Family High Density (RMH)

**APPLICABLE
STANDARDS
AND CRITERIA:** City of Forest Grove Development Code
§17.2.300 et. seq. *Design Review*
§17.2.400 et. seq. *Site Development Review*
§17.3.100 - .140 *Residential Zones*
§17.4.200 et. seq. *Planned Developments*
§17.7.040 *Fence Standards*
§17.7.200 et. seq. *Solid Waste and Recycling*
§17.8.000 et. seq. *General Development Standards*

City of Forest Grove Design Guideline Handbook
Focus Area III *Multi-Unit Residential Focus Area*

REVIEWING STAFF: James Reitz (AICP) Senior Planner

RECOMMENDATION: Staff recommends approval with conditions

I. LAND USE HISTORY

The site had been occupied by Van Doren Red-E-Mix for decades, until the owner retired. The site has sat vacant for several years since, except for a small single-family home and a couple of outbuildings. The area surrounding the site has been developed with a mixture of residential types, also for decades. Two sites to the south were recently developed with triplexes, and interest has been expressed in additional multi-family units along the Main Street corridor.

Because the proposed project would exceed 5 units, the Design Guidelines require Planning Commission review pursuant to Type III review procedures. Because this activity requires design review, all associated reviews (in this case, site plan approval and Incentive Density, which requires addressing Planned Development criteria) are also subject to Planning Commission review, pursuant to DC §17.1.205.

The application was submitted on February 11, 2021. It was deemed complete on March 9, 2021.

Public notice for this application was mailed to property owners and residents within 300 feet of the site on March 15, 2021 as required by DC §17.1.610. Notice of this request was also provided to the Plans Review Board, and published in the *News-Times*.

Comments and conditions received from the Plans Review Board are listed in Exhibits C-F.

As of the writing of this report, no comments have been received from the public.

II. PROJECT DESCRIPTION AND ANALYSIS

1. Description of Proposal: The proposal would result in the construction of 5 buildings housing 36 apartment units, and 1 community building.
 - The residential buildings would include three 2-story and two 3-story structures. The community building would be 1 story.
 - There would be a children's play area with a play structure, a community garden, and turf areas for recreational use.
 - There would be 48 on-site parking spaces
 - The site would be completely built-out with this project. The applicant intends to construct the project in a single phase.
 - Once completed, the project will be operated by the Housing Authority of Washington County and will continue to provide affordable housing for a minimum of 60 years.
2. Site Examination: The apartment site totals 1.62 acres and abuts Main Street, 26th Avenue and "A" Street. The site is mostly vacant; all that remains is a single-family

home and two outbuildings. All will be removed, along with the corrugated metal fencing.

The site is presently comprised of 4 parcels. To ensure the new buildings aren't built on or too close to existing property lines, the 4 parcels are being consolidated into 1 parcel. That process has already been initiated.

3. Existing Comprehensive Plan Designation and Zoning of Site and Area

LOCATION	COMPREHENSIVE PLAN DESIGNATION	ZONE DISTRICT	LAND USE
Site	High Density Residential (HDR)	Residential Multi-Family High Density (RMH)	Single-Family Home
North	High Density Residential (HDR)	Residential Multi-Family High Density (RMH)	Mixed Residential
South	High Density Residential (HDR)	Residential Multi-Family High Density (RMH)	Mixed Residential
East	High Density Residential (HDR)	Residential Multi-Family High Density (RMH)	Mixed Residential
West	Medium Density Residential (MDR)	Residential Multi-Family Low Density (RML)	Single-Family Homes

Site Design: The site plan consists of 5 apartment buildings, and a community building that would house the main office, a community room and a laundry room; a covered bicycle parking area would also be provided. The play area would be located just to the west of the community building, in view of those residents using the laundry room.

The two 3-story buildings (B and C) would face 26th Avenue. The 2-story buildings (A, D and E) would face "A" Street, Main Street, and the car park.

Parking for 48 cars would be provided to the interior of the site. Walkways would be provided throughout the site. A 23-foot-wide drive aisle would extend through the site and provide access to both Main and "A" streets.

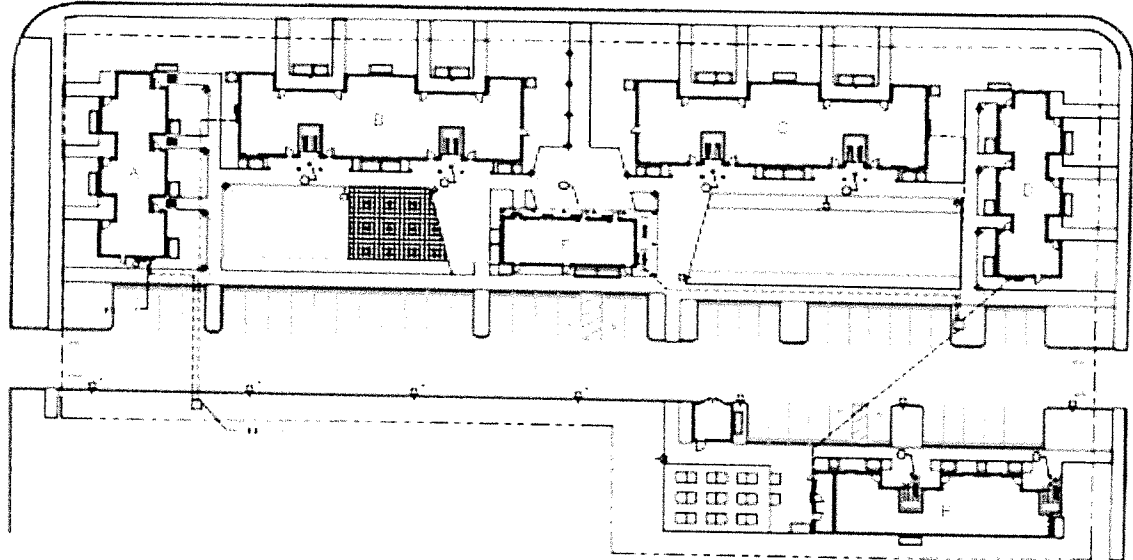
The garden plot would be located south of the trash enclosure, west of Building E.

4. Setbacks and Height Requirements:

- The site is located in the Residential Multi-Family High Density (RMH) zoning district. Minimum setback requirements are front – 14 feet; rear – 15 feet; and sides – at least 5 feet.
- Because the site fronts 3 streets, the site has 3 front yards. The buildings would be set back about 14 feet from all 3 abutting streets.
- Building E would be set back 8 ½ feet from the south property line. While this distance would exceed the side yard setback requirement, additional yard space could be provided by shifting the building north. Because the proposed drive aisle would be 23 feet wide, and only a 20-foot width is required for two-way traffic (per DC §17.8.120C)(2)), the Planning Commission could increase the south yard width of Building E to up to 11 ½ feet. Staff has included an **optional condition** to do so.
- The height limit in the RMH zoning district is 3 stories or 45 feet, whichever is less. Buildings A, D and E would be 2 stories and about 25 feet tall at the roof peak. Buildings B and C would be 3 stories and about 35 feet tall at the roof

peak. The community building (Building F) would be 1 story and about 14 feet tall (see below for building identification).

Summary and Conclusion: As the height of the proposed buildings would all be less than the maximum allowed, and all building locations would comply with DC §17.3.130(H) Table 3-7 *Setback Requirements*, staff concludes that the heights and setbacks are acceptable.



Site Plan

5. Density: The total site area is 1.62 acres. The minimum and target residential density in the RMH zoning district is 16.22 to 20.28 Dwelling Units per Acre (DUA) respectively. The allowable density would therefore be between a minimum of 26 units and a target of 33 units (DUA calculations are rounded to the nearest whole number).

The applicant proposes to use the Incentive Density for affordable housing provision in order to create more affordable housing units, pursuant to DC §17.3.130(B)(3):

Incentive Density provides the opportunity for a density bonus to reward design features, amenities, and/or other improvements which can be shown to increase the value of the residential development for neighborhood residents and the general public and/or provide affordable housing. Incentive Density is only allowed as part of a Planned Development (see §17.4.200). (Emphasis added)

Incentive Density allows for up 23.32 DUA in the RMH zoning district. With 1.62 acres, up to 38 units would be allowed on this site. The application is for 36 units.

Summary and Conclusion: With 36 units, the number of units proposed would comply with the maximum allowed under Incentive Density.

6. Compatibility:

- The neighborhood surrounding the site exhibits a mixture of single- and multi-unit housing. Properties to the north, south and east are located in the same RMH

zoning district as the site, while properties to the west (across "A" Street) are located in the RML zoning district.

- Development of an apartment complex might result in off-site noise impacts. However, if any noise issues did arise, Forest Grove Code (FGC) §91.030 et. seq. *Noise Regulations* would regulate the intensity of allowable noise in both daytime and evening hours. §91.034 *Maximum Permissible Sound Levels* caps the allowable volume in Noise Sensitive Areas (i.e., areas within residential and institutional zones) at 60 db during the daytime (7 a.m. to 10 p.m.) and 50 db at night (10 p.m. to 7 a.m.) Because the City has an ordinance in place to respond to potential noise complaints, staff concludes that there should be no significant neighborhood noise compatibility issues.
- A 6-foot-tall cedar fence would be installed on the south and west property lines adjacent to Building E and the garden plots. The balance of the south property line is already fenced. No other perimeter fencing is proposed.
- A landscape area 10 ½ feet wide would be constructed along the south property line between the existing fence and the west drive aisle. This area would be improved with shrubs, trees and ground cover, thus providing an additional visual buffer between the existing and proposed developments.
- The project will be required to comply with DC §17.8.750 *Lighting Standards for Multi-Unit Development* and DC §17.8.755 *Pedestrian Lighting Standards*, as noted in Exhibit C - *Development Code Standards and Specifications*. Compliance with these provisions should minimize any off-site light splay.
- One trash/recycling enclosure would be located to the interior of the project. It would be roofed and sided with the same materials as are proposed for the residential and community buildings.

Summary and Conclusion: The area is zoned for and is already developed with a variety of residential types, including apartments. Thus, a new apartment complex should have no impact on the livability of the neighborhood.

7. Traffic Analysis and Street Improvements:

According to the ITE *Trip Generation Report 10th Edition*, low rise apartments generate 7.36 Average Daily Trips (ADT) per unit. With 36 units, 265 trips per day would be expected. The weekday AM peak hour would see about 18 trips, while the weekday PM peak hour would see about 22 trips.

The actual number generated might be less since the site is a short distance from Lincoln Park, Pacific University and downtown, which means residents could walk to those destinations. In addition, GroveLink has a route on Main Street, which would allow the residents to travel farther without using their own vehicles. With those available options, the residents might drive less than the ITE report forecasts.

The site abuts Main Street, a designated Collector street. It has been fully improved. Primary access to the site would be from Main Street.

The site also abuts both 26th Avenue and "A" Street. Both streets have been fully improved. No vehicular access to 26th Avenue is proposed. The drive aisle would be extended to connect to "A" Street.

Summary and Conclusion: Traffic access and circulation requirements would be met.

8. Sidewalks and Pedestrian Walkways:

- Sidewalks are already installed along all street frontages. However, the Main Street and 26th Avenue sidewalks are in a state of disrepair (due to subsidence and spalling) and will be required to comply with current City standards.
- A new ADA curb ramp will be required to be installed at the Main Street / 26th Avenue intersection, at the crosswalk. An additional curb ramp will be required on the east side of Main Street which, because it is not abutting the site, would be eligible for Transportation Development Tax credits as a safety improvement.
- Concrete pedestrian walkways are proposed to connect all the units with the car parks, play areas and public sidewalks. DC §17.8.115(4) requires a minimum walkway width of 4 feet. The proposed walkways would be at least 5 feet wide.

Summary and Conclusion: Public sidewalks and private walkways will be constructed in compliance with City standards. No additional conditions appear to be necessary.

9. Parking: DC §17.8.515 Table 8-5 *Parking Requirements* regulates the minimum number of parking stalls required (there are no maximums for residential uses). For multi-family housing, 1.00 spaces are required for each studio unit, 1.25 spaces are required for each 1-bedroom unit, 1.50 spaces for each 2-bedroom unit, and 1.75 spaces for each three bedroom unit.

06 1-bedroom units	1.25 spaces/unit	07.5 spaces required
24 2-bedroom units	1.50 spaces/unit	36.0 spaces required
<u>06 3-bedroom units</u>	<u>1.75 spaces/unit</u>	<u>10.5 spaces required</u>
36 units total		54.0 spaces required

The project would have 48 off-street spaces. DC §17.8.510(H) allows projects to utilize on-street parking adjacent to the site toward the required minimum parking:

Eligible parking. Parking spaces available along the public street frontage or alleys are eligible in fulfilling the parking requirements, except for single-family dwellings and duplexes.

The site fronts onto 3 streets: about 400 feet on 26th Avenue, 195 feet on Main Street, and 75 feet on "A" Street. On-street parking adjacent to the site is permitted on 26th Avenue and Main Street, but is prohibited on "A" Street because the paved street width is only 24 feet and parking is only allowed on the west side of the street. The other frontages total about 600 feet in length. Not counting the frontage area occupied by the Main Street driveway and other no parking areas, about 22 parallel parking spaces would be available adjacent to the site.

Counting both on- and off-street parking, 70 spaces would be available, or 16 more than the minimum number of spaces required.

Summary and Conclusion: As the minimum number of parking spaces required would be exceeded, and there is no maximum limit, no conditions of approval appear necessary.

10. Environmental Quality: Van Doren Red-E-Mix ceased operations in 2015, and the operator spent the next several years clearing the site. There is no City record of any adverse environmental conditions.

As the previous business began operations long prior to the adoption of contemporary environmental regulations, there was no water quality treatment required for runoff, nor any landscaping. With this project, runoff from impervious surfaces will be routed to new on-site water quality facilities, which will be designed and constructed to accommodate the runoff from the entire development site. Landscaping will be installed that will improve air quality and reduce glare and heat.

Summary and Conclusion: Currently, the site is almost entirely paved and devoid of any features to minimize the environmental impacts of development. Redevelopment will result in the construction of water quality facilities and the installation of landscaping where there presently is none. With these improvements, no additional approval conditions appear necessary.

11. Parks and Open Space: Lincoln Park is located across Main Street from the site. It is within a short walking distance of this project. The park offers a variety of recreational opportunities, including ball fields (soccer and baseball), a skate park, and walking/running paths.

DC §17.8.205 requires that all multi-family dwellings with 20 or more units provide a children's play area, surrounded by a fence at least 30 inches high. Because this complex would have more than 20 units, these provisions would apply.

As the complex would have both two- and three-bedroom units, it is reasonable to conclude that some units would be occupied by families with small children. For their use, the site plan includes a play area and a play structure. Open lawn area would be provided for use by larger children and adults.

12. Landscaping: Proposed landscaping would be varied and extensive, including 5 deciduous tree varieties, nearly 30 varieties of shrubs and groundcovers, and turf. Landscaping appears to comply with the provisions of DC §17.8.205 and §17.8.545.

A few "volunteer" trees remain on-site (i.e. they were not purposely installed for landscape purposes). All of the on-site trees are proposed to be removed.

13. Public Utilities: The application has been reviewed by the Building, Engineering, Fire, Light and Power, Police, and Public Works departments. All departments have indicated that existing public utilities to serve the site are adequate. Specific comments and conditions from the Engineering, Fire and Light & Power departments are listed in Exhibits D-F. The Building, Police and Public Works departments registered no comments or conditions.

14. Site Development Approval Criteria: DC §17.2.450 *Site Development Review Criteria* are as follows:

The Planning Commission shall review and approve, conditionally approve, or deny the site development plan based on the following criteria:

- A. The site development plan complies with all applicable standards of the base zoning district, any overlay district, and the applicable general development standards of Article 8.

Finding: The site is comprised of four parcels that are being consolidated into a single parcel. The applicant will be required to submit a copy of the recorded survey and legal description prior to filing for building permits.

Finding: The site plan consists of 5 apartment buildings, a community building, children's play area, car park, garden plot, and landscaping.

Finding: Parking would be provided throughout the site, and all the buildings connected with pedestrian walkways. Walkways would also connect with the sidewalks on Main Street, "A" Street and 26th Avenue.

Finding: The site is located in the Residential Multi-Unit High density zoning district. Front, side, or rear setbacks apply. Buildings would be set back about 14 feet along all 3 street frontages, and more than 8 feet along the remaining side yard. As the building setbacks would comply with Development Code standards, no conditions of approval appear necessary.

Finding: Car park set backs are at least 5 feet abutting any property line. The site plan indicates compliance with this standard.

Finding: The applicant proposes to use the Incentive Density for affordable housing provision in order to create more affordable housing units, pursuant to DC §17.3.130(B)(3):

Incentive Density provides the opportunity for a density bonus to reward design features, amenities, and/or other improvements which can be shown to increase the value of the residential development for neighborhood residents and the general public and/or provide affordable housing. Incentive Density is only allowed as part of a Planned Development (see §17.4.200). (Emphasis added)

Incentive Density allows for up 23.32 DUA in the RMH zoning district. With 1.62 acres, up to 38 units would be allowed on this site. The application is for 36 units.

Finding: The height limit in the RMH zoning district is 45 feet. The height of the three-story apartment buildings would be about 35 feet at the roof peak. As the height of the proposed buildings would be less than the maximum, this criterion is satisfied.

Finding: The project would have 48 off-street spaces, 6 fewer than the Development Code minimum. There are no maximum limits on parking for residential projects.

DC §17.8.510(H) allows projects to utilize on-street parking adjacent to the site toward the required minimum parking. This site has about 600 feet of street frontage which would provide for about 22 parallel parking spaces. Counting both on- and off-street parking, 70 spaces would be available, or 16 more than the minimum number of spaces required.

Finding: According to the ITE *Trip Generation Report 10th Edition*, low rise apartments generate 7.36 Average Daily Trips (ADT) per unit. With 36 units, 265 trips per day would be expected. The weekday AM peak hour would see about 18 trips, while the weekday PM peak hour would see about 22 trips.

The site abuts Main Street, a designated Collector street. It has been fully improved. Primary access to the site would be from Main Street. The site also abuts both 26th Avenue and "A" Street. Both streets have been fully improved. No vehicular access to 26th Avenue is proposed.

Summary and Conclusion: The project would comply with the density, setbacks, building heights, landscaping, access and parking standards and specifications of the Development Code.

B. The site development plan ensures reasonable compatibility with surrounding uses as it relates to the following factors:

1. Building mass and scale do not result in substantial visual and privacy impacts to nearby residential properties; and

Finding: The site is located in the Residential Multi-Unit High density zoning district, as are all abutting properties. Front, side, or rear setbacks apply. Buildings would be set back about 14 feet along all 3 street frontages, and more than 8 feet along the remaining side yard. As the building setbacks would comply with Development Code standards, no substantial visual and privacy impacts to nearby residential properties are anticipated.

2. Proposed structures, parking lots, outdoor use areas or other site improvements that could cause substantial off-site impacts such as noise, glare and odors are oriented away from nearby residential uses and/or adequately mitigated through other design techniques.

Finding: As a residential project, off-site noise impacts are not anticipated. Should noise become a complaint issue, the City has in place a noise control ordinance that could be used to abate the nuisance.

Finding: On-building, pathway and car park lighting is proposed. Lighting will be required to comply with the provisions of DC §§17.8.755(C) and (D).

Finding: The trash and recycling enclosure would be centrally located well away from any property line and the street. It would be finished with the same roofing and siding as the residential buildings.

C. The site development plan preserves or adequately mitigates impacts to unique or distinctive natural features including, but not limited to:

1. Significant on-site vegetation and trees;
2. Prominent topographic features; and
3. Sensitive natural resource areas such as wetlands, creek corridors and riparian areas.

Finding: The site does not have any prominent topographic features, wetlands, creek corridors, riparian areas, or significant on-site vegetation or trees. Existing on-site trees are all "volunteers" and are proposed for removal.

D. The site development plan preserves or adequately mitigates impacts to designated historic resources.

Finding: No designated historic resources are present on or adjacent to the site. This criterion does not apply.

- E. The site development plan provides adequate right-of-way and improvements to abutting streets to meet the street standards of the City. This may include, but not be limited to, improvements to the right-of-way, sidewalks, bikeways, and other facilities needed because of anticipated vehicular and pedestrian traffic generation.

Finding: The adjacent rights-of-way are all of adequate width and have been fully improved. However, the Main Street and 26th Avenue sidewalks are in a state of disrepair (due to subsidence and spalling) and will be required to comply with current City standards. In addition, a new ADA curb ramp will be required to be installed at the Main Street / 26th Avenue intersection, at the crosswalk. An additional curb ramp will be required on the east side of Main Street which, because it is not abutting the site, is eligible for Transportation Development Tax credits as a safety improvement.

- F. The site development plan promotes safe, attractive and usable pedestrian facilities that connect building entrances, public sidewalks, bicycle and auto parking spaces, transit facilities, and other parts of a site or abutting properties that may attract pedestrians.

Finding: Concrete pedestrian walkways are proposed to connect all the units with the car park, play area and public sidewalks. DC §17.8.115(4) requires a minimum walkway width of 4 feet. The proposed walkways would be at least 5 feet wide. Covered bicycle parking would be provided at the community building.

15. Planned Development Approval Criteria: Because the applicant proposes to develop the site using Incentive Density in order to construct affordable housing, DC §17.3.130(B)(3) requires compliance with Planned Development criteria.

§17.4.220 PRELIMINARY PLAN REVIEW

- C) Approval Criteria. The preliminary plan will be approved if the review body finds that the applicant has shown that all of the following approval criteria are met:

1. The plan fulfills the purpose for PDs stated in §17.4.200;

The PD provisions are intended to:

- A. *Promote flexibility and innovation in site design and permit diversity in the location of structures in order to preserve natural features and view corridors;*

Finding: This section is not applicable because the site does not have any natural features to be preserved nor any view corridors.

- B. *Promote innovative and creative design by providing a variety and mixture of building types and architectural styles;*

Finding: The proposal includes both apartments and townhouses. While the architectural style would be uniform throughout, buildings would be differentiated by various heights and colors. In addition, the residential buildings would have gable roofs, while the community building would have a shed roof, thus offering further architectural variety.

- C. *Promote efficient use of land and facilitate a more economical arrangement of buildings, circulation systems, land uses, and utilities when compared with conventional development patterns;*

Finding: The site would be efficiently used because it would be bisected along its east/west axis by a central drive aisle and car park, with the buildings located on either side. Furthermore, the project's amenities including the community building with laundry room, tot lot, open recreation space and garden plots, would all be located along the central axis.

- D. *Preserve to the greatest extent possible existing landscape features and amenities such as trees, creeks, ponds, floodplains, hills and similar natural assets, and incorporate such features into the design of the PD;*

Finding: This section is not applicable because the site does not have any significant trees, creeks, ponds, floodplains, hills or similar natural assets to be incorporated into the design.

- E. *To encourage the provision of open space and recreational facilities in a generally central location and within reasonable walking distance of all living units in residential planned developments;*

Finding: Open space and recreational facilities would be sited in a central location. Because the site is only 1.62 acres in total area, all residents will be able to walk to the facilities within minutes. In addition, the site is located a short walk from Lincoln Park, which has additional recreational opportunities.

- F. *Combine and coordinate architectural styles, building forms and building relationships within the PD; and*

Finding: The proposal includes both apartments and townhouses. The architectural style would be coordinated throughout, but buildings would be differentiated by various heights and colors. In addition, the residential buildings would have gable roofs, while the community building would have a shed roof, thus offering further architectural variety. Residential buildings would be sited to the perimeter while the community building and outdoor play areas would be located near the center of the site.

- G. *Provide the applicant with reasonable assurance of ultimate approval before requiring detailed design and engineering, while providing the*

City with assurances that the project will retain the character envisioned at the time of approval.

Finding: Upon Planning Commission approval of the project, the applicant will have assurance that the project can proceed. As the applicant will be bound to all project representations, the City will have assurance that the project will retain the character envisioned.

2. The plan meets the submittal requirements of §17.4.220(B);

Finding: The application demonstrates compliance with this criterion.

3. Adequate public services exist or can be provided to serve the proposed PD; and

Finding: The application has been reviewed by the Building, Engineering, Fire, Light and Power, Police, and Public Works departments. All departments have indicated that existing public utilities to serve the site are adequate or can be provided to serve the proposed development.

4. Where a tentative subdivision plat is requested, the requirements of Article 8 are met.

Finding: This criterion is not applicable, as no subdivision is proposed.

III. DESIGN GUIDELINES

Design Review Criteria: Projects subject to design review shall be evaluated based on the following:

- A. The development standards of the applicable zoning district and any overlay district;
- B. The general development standards of Article 8.
- C. Departures from code requirements may be permitted as part of a Track 2 Design Review Process, when the following criteria are met:
 1. The design guidelines contained in the applicable section of the "Design Guideline Handbook" are adequately addressed.
 2. The applicant demonstrates that the overall development would result in a development that better meets the intent of the design guidelines than a design that simply meets the Code.

The Design Guideline Handbook Section III *Multi-Unit Residential Design Guidelines* has two options for design review: Track 1 *Development Standards* and Track 2 *Design Guidelines*. The following analyzes the application compared to Track 1 standards unless otherwise noted.

Site – Circulation

- *Continuous pedestrian connections required* – Walkways are proposed that would connect the buildings, car park, play area, and the public sidewalks.
- *Pathways at least 10 feet from dwellings* – The distance between pathways and buildings varies. Some buildings meet this guideline, while for others the pathways would be located closer. However, the pathways would comply with this recom-

mended Design Guideline: *"Provide comprehensive, pleasant and direct pedestrian pathways linking buildings, open space and parking areas."* Shifting the buildings away from pathways would crowd the buildings closer together, thus reducing useable yard areas for the residents, and/or would shift the buildings closer to perimeter property lines, thus increasing the potential adverse impacts on neighboring properties. Maintaining greater useable yard areas and setbacks from the perimeter would be preferable to strict adherence to this standard.

- The *minimum pathway width of 5 feet* – All proposed pathways would be at least five in width.

Site – Parking

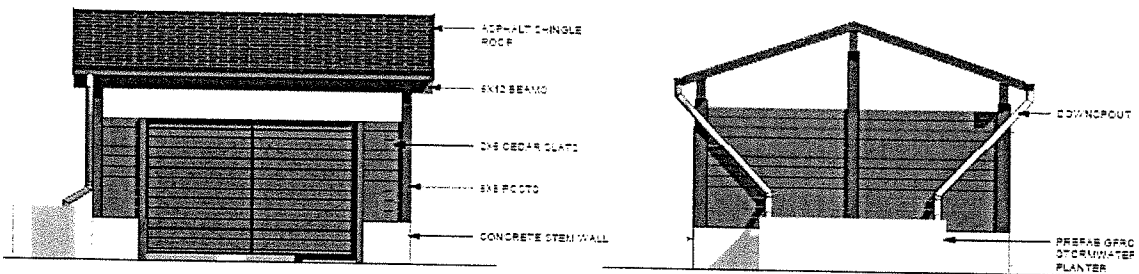
- *Include 18-foot-wide landscape planter bays in parking areas > 10,000 square feet* – The proposed car park and aisle would exceed 20,000 square feet in area, therefore, this provision applies. Several wide planter bays have been included throughout the car park.
- *Sidewalk system shall connect all front doors to the car park* – Walkways are provided throughout the site with multiple connections to the car park.

Site – Pedestrian Environment

- *Residential front doors shall be setback at least 2 feet from the public sidewalk* – All residential front doors would be located more than 14 feet from the public sidewalk.
- *Primary entrance doors shall not be sliding glass, or solid metal without glazing* – Entry doors will be standard doors.
- *Residential porch height < 4 feet* – Porches would be at-grade.
- *Residences with entry porches: porches shall be not be less than 40 square feet* – Porches would be 48 square feet.
- *Residences shall not be < 4 feet below grade* – The buildings would be erected at grade.

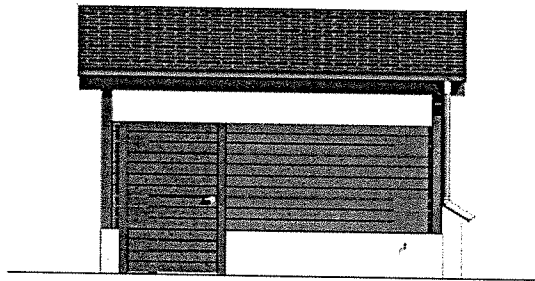
Site – Screening / Service Areas

- *All mechanical equipment shall be screened* – The apartment units will have standard residential-sized appliances located inside.
- *Service / refuse collection areas shall be not < 20 feet from the right-of-way* – The refuse collection area would be located more than 100 feet from Main Street.
- *Refuse collection area to be screened from above* – The refuse collection area would be a walled and roofed structure.
- *All rooftop mechanical equipment shall be screened* – None proposed; not applicable.

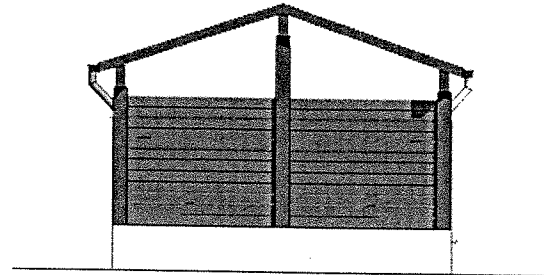


TRASH ENCLOSURE - N. ELEVATION

6 TRASH ENCLOSURE - E. ELEVATION



TRASH ENCLOSURE - S. ELEVATION
 SCALE: 1/4" = 1'-0"

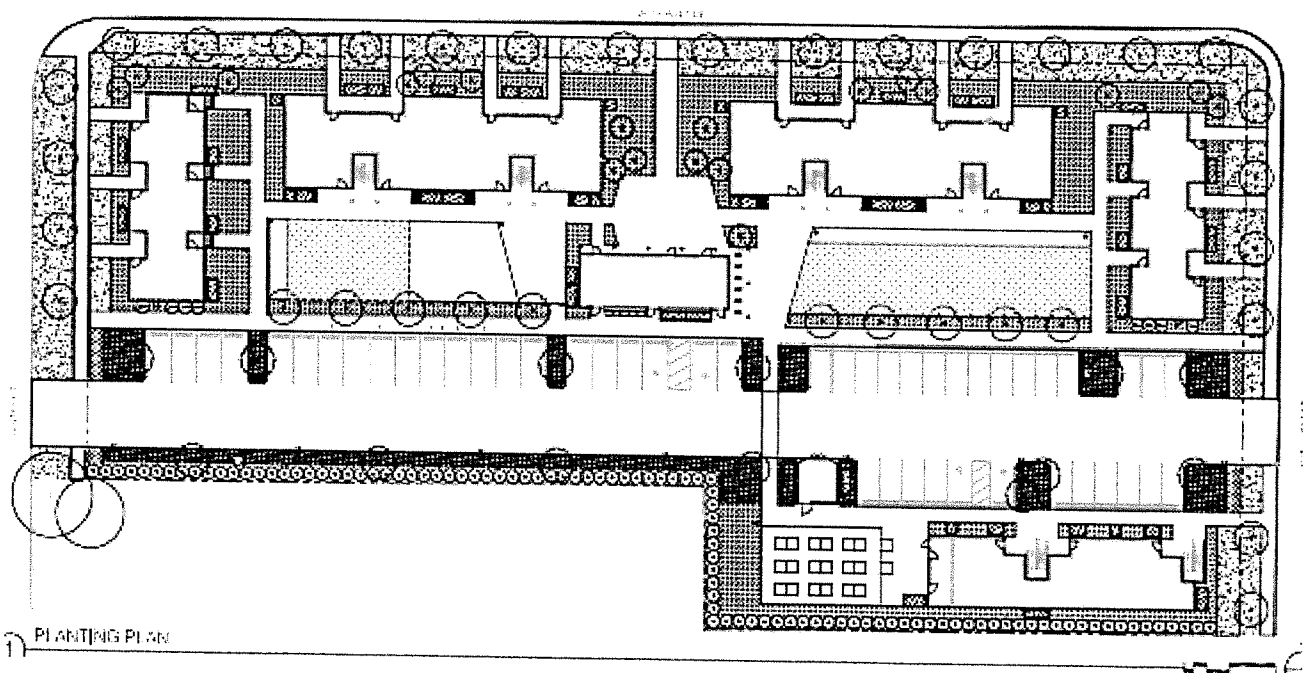


8 TRASH ENCLOSURE - W. ELEVATION
 SCALE: 1/4" = 1'-0"

Site – Landscaping

At least 75% of required landscaped areas shall be planted; at most 25% of required landscaped areas shall be hardscaped – Landscaping would include deciduous trees, shrubs, groundcover, and turf. Less than 25% of the required landscape areas would be hardscaped.

- *Buffering and Screening – The development site abuts two residential properties on the south border. To provide buffering and screening, an area between 8 and 15-feet-wide will be landscaped with a variety of trees, shrubs and groundcover.*



Landscaped / Open Space Areas

Site – Crime Prevention Through Environmental Design

- *Plant materials by entries shall be < 5 feet in height by the entry - Complies. Various shrub varieties are proposed near the entries, all of which can be kept pruned to a height of five feet and less.*
- *Window areas facing common spaces, paths, and parking areas shall be at least 25 square feet each – Dimensions of the individual window units vary; multiple windows will be present in all elevations. Given the multiplicity of windows facing the common spaces, the intent of this criterion is satisfied.*
- *Entries shall be lighted – All entries would be illuminated.*
- *Gated residential areas are prohibited – None are proposed.*

- *Motion-activated lighting by the street is prohibited* – None are proposed.

Site – Open Space

- *At least 25% of the lot (excluding parking areas) shall be landscaped* – The site totals 1.62 acres. The planted areas would comprise about 0.59 acres or about 38% of the gross site area. This standard is met.
- *Apartment complexes with six units or more shall provide 100 square feet of recreation space per unit* – No specific Development Code section includes this provision. With 36 units, 3,600 square feet of recreation space would be necessary. The outdoor recreation area to be provided would total about 7,900 square feet, or more than twice the minimum amount required.
- *Apartment complexes with 21 or more units shall have a children's play area* – One play area is proposed.
- *At least 50 square feet of private open space shall be provided per unit* – Units in the 2-story buildings would have a patio of about 57 square feet. Units in the 3 story buildings would have a ground floor patio and decks on both the second and third floors, which would total about 225 square feet.
- *Private open space shall be separated from common open space with landscaping, fencing, or grade changes (including balconies)* – Patios would be separated from the common areas with a short fence.

Building – Massing and Form

- *Building dimensions > 150 feet shall have a minimum 3-foot off-set* – Buildings B and C are the longest, at 114 feet. Because that is less than 150 feet, this provision does not apply.
- *Every two dwelling units shall be off-set from the next by at least 4 feet* – While the units are not offset, each unit is separated from the adjoining unit by a generously dimensioned porch and patio/deck areas. The intent of this provision is met.
- *All habitable rooms shall have a window facing the car park and common areas* – Windows would face both the car park and the common areas.

Building – Compatibility

- *All buildings shall have a defined entry space of at least 16 square feet* – Each porch area totals at least 36 square feet.

Building – Safety

- *Line-of-sight shall be maintained between the building entries and the sidewalk or car park* – Complies.

Building – Privacy

- *Building entries shall be at least 3 feet from sidewalks and walkways* – Complies. The distance from all entries to any sidewalk or walkway would be at least 5 feet.
- *Bedroom and bathroom windows shall be off-set at least 4 feet from windows on adjacent buildings (unless privacy glazing is used)* – None of the bathrooms would be situated to align with adjacent unit windows.

Site – Lighting

- *All unit entries and walkways shall be lighted* – All entry areas will be lit.
- *Light poles shall not exceed 18 feet in height* – This standard is required by DC §17.8.750(D) *Lighting Standards for Multi-Unit Development*.
- *Concrete bases shall not exceed 8 inches in height* – This standard is required by DC §17.8.750(D).
- *Cut-off shields shall be installed* – These are required by DC §17.8.750(D).
- *Plastic interior-lighted signs are prohibited* – None are proposed.

Signs –

- *Residential nameplates allowed* – None proposed. Site identification signs will be required at each driveway.

Summary and Conclusions: The design guidelines have been addressed by the application as follows:

- 1) The facades of the new buildings include building overhangs, balconies and gables, all of which will serve to provide relief and shadow patterns.
- 2) The buildings would be 2 and 3 stories in height. Building projections and recesses are incorporated.
- 3) Exterior building materials would include lap siding with trim boards.
- 4) Proposed window designs would be coordinated with the building's architecture and would be sufficient in number to ensure ample visibility of the common areas.

The facades of the new buildings will include architectural detailing which will serve to provide relief and shadow patterns, including varied roof lines, sheltered entries and balconies. The buildings would use a variety of quality durable materials including fiber-cement lap siding. The proposed architecture complies with the design guidelines and standards.

IV. ALTERNATIVES

The Planning Commission may approve as submitted, approve with conditions, continue deliberations to a date certain, or deny this request.

V. RECOMMENDATION

Based on the information provided in the application and the findings above, staff recommends approval of the application for site design and design review for the proposed apartments at 2524 Main Street, with the following conditions:

1. The applicant is bound to the project description and all representations made by the applicant during the application and decision-making proceeding.
2. The applicant shall comply with all applicable City building and development standards, including all dimensional standards and public works specifications.

OPTIONAL CONDITION

3. Reduce the drive aisle width to 20 feet and increase the south yard setback adjacent to Building E to 11 ½ feet.

VI. LIST OF EXHIBITS

The following exhibits were received, marked, and entered into the record as evidence for this application at the time this staff report was written. Exhibits received after the date of this report will be marked beginning with the next consecutive letter and will be entered into the record at the time the public hearing is opened, prior to oral testimony.

- Exhibit A** Site Plan and Design Review Application Materials
- Exhibit B** Power Point
- Exhibit C** Development Code Standards and Specifications
- Exhibit D** Engineering Department Special Conditions
- Exhibit E** Fire Department Standards and Specifications
- Exhibit F** Light and Power Department Standards and Specifications

EXHIBIT A

Application Materials

FOREST GROVE FAMILY HOUSING

2525 A ST.
FOREST GROVE, OR 97116

PRELIMINARY
NOT FOR
CONSTRUCTION

RECEIVED
FEB 10 2021
City of Forest Grove

CARLETON HART ARCHITECTURE P.C.
503 243 2252
www.carletonhart.com

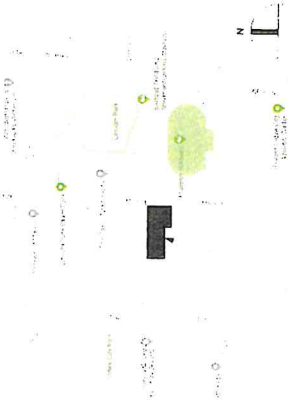


FOREST GROVE FAMILY HOUSING
2525 A ST.
FOREST GROVE, OR 97116
PRELIMINARY PLAN / DESIGN REVIEW



PROJECT INFORMATION

LOCATION MAP



SCALE: NTS

PROJECT DESCRIPTION

PLANNED RESIDENTIAL DEVELOPMENT FOR 36 DWELLING UNITS FOR THE HOUSING AUTHORITY OF WASHINGTON COUNTY, UNIT MIX: 12 TOWNHOMES AND 24 BEDROOM FLATS AND 3-BEDROOM TOWNHOMES. SITE DEVELOPMENT INCLUDES: LANDSCAPING, CHILDREN'S PLAY AREA, GARDEN BEDS, SITE FURNISHING, ON-SITE VEHICLE AND BIKE STORAGE, ROW IMPROVEMENTS INCLUDING REPAIR OF EXISTING SIDEWALK AND REPLACEMENT OF CORNERS AT INTERSECTIONS PER CITY OF FOREST GROVE CONSTRUCTION STANDARDS.

SITE INFORMATION

ADDRESS: 2525 A STREET
FOREST GROVE, 97116
SITE AREA: 78012 SF (1.62 ACRES)
TAX LOT #: N331C802100, N331C802200, N331C802300
ZONING: RMH - RES. MULTIFAMILY HIGH

DRAWING INDEX

GENERAL	ARCHITECTURAL
COVER SHEET	SITE PLAN
BUILDING INFORMATION SUMMARY	ROOF PLANS - BUILDING A
VICINITY AND ZONING PLAN	FLOOR PLANS - BUILDING B
EXISTING CONDITIONS SITE PLAN	FLOOR PLANS - BUILDINGS B AND C
EXISTING CONDITIONS SITE PHOTOS	ROOF PLANS - BUILDING D
SITE VIEWS	EXTERIOR ELEVATIONS - BUILDING A
PAVING PLAN	FLOOR AND ROOF PLANS - BUILDING E
GRADING PLAN	EXTERIOR ELEVATIONS - BUILDING B
UTILITY PLAN	EXTERIOR ELEVATIONS - BUILDING C
TREE PROTECTION AND REMOVAL PLAN	EXTERIOR ELEVATIONS - BUILDING D
MATERIALS PLAN	EXTERIOR ELEVATIONS - BUILDING E
LANDSCAPE	EXTERIOR ELEVATIONS - BUILDING F
L1.01	SITE DETAILS
L2.01	EXTERIOR DETAILS
L3.01	ELECTRICAL
L3.02	E1.01
L3.03	E1.02
L3.04	SITE LIGHTING PHOTOMETRIC PLAN
L3.05	
L3.06	
L3.07	
L3.08	
L3.09	
L3.10	
L3.11	
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L3.99	
L3.100	

COVER SHEET

PROJECT NO.
2009

02.08.21

REVISIONS: #

G1.01

NOTE: DRAWINGS ARE AT HALF SCALE WHEN PRINTED AT 11X17
DIMENSIONS
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8301 SW 10TH AVENUE #200 PORTLAND, OREGON 97205
503 243 2252
WWW.CARLETONHART.COM



FOREST GROVE FAMILY HOUSING
2526 A ST.
FOREST GROVE, OR 97116
PRELIMINARY PLAN / DESIGN REVIEW

VICINITY AND ZONING
PLAN

PROJECT NO.
20009

02.08.21

REVISIONS: #

G1.03

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VICINITY AND ZONING MAP

SCALE: NTS

LEGEND:

RESIDENTIAL MULTIFAMILY HIGH
RESIDENTIAL MULTIFAMILY LOW

INSTITUTIONAL

SINGLE FAMILY RES. R-7

PROJECT SITE

ABBREVIATIONS

SF SINGLE-FAMILY USE DETACHED
MF1 MULTI-FAMILY USE AND DUPLEXES (1-5 UNITS)
MF2 MULTI-FAMILY USE (6+ UNITS)



CORNER VIEW LOOKING SOUTHWEST AT MAIN STREET AND 26TH AVENUE



COURTYARD VIEW LOOKING EAST TOWARD COMMUNITY BUILDING



SITE AERIAL VIEW LOOKING EAST FROM A STREET

26TH AVENUE

MATERIALS PLAN

SCALE 1/16"=1'-0"

SEND

- NEW BUILDING, SEE ARCH
STORMWATER PLANTER, SEE CIVIL
PLAY STRUCTURE W/SLIDE AND CLIMBERS
TBD, MANUFACTURED BY
LANDSCAPE STRUCTURES
LOW FENCE W/ GATES, SEE ARCH
MAIL BOXES, SEE ARCH
CUSTOM SEAT WALL
CIP INTEGRAL COLOR, CONC
W/ ACID ETCHED FINISH
PARKING LOT, SEE CIVIL
TRANSFORMER, FINAL LOCATION
TBD, SEE ARCH AND ELECTRICAL
18" HT COMPOSITE WOOD
COMMUNITY GARDEN BEDS
30" HT POWDERCOATED STEEL
ADA COMMUNITY GARDEN BEDS
6" HT PERIMETER FENCE, SEE ARCH

- PROPERTY LINE
AREA BOUNDARY
EXISTING TREE
TO BE PROTECTED
PEDESTRIAN CONCRETE PAVING
MIN 5' WIDTH, TYP
PLAY AREA SAFETY SURFACING
TILES ON CONCRETE SLAB W/DRAIN
3" DEPTH DARK HEWLOCK MULCH
POWDERCOATED BENCH W/BACK
POWDERCOATED PICNIC TABLES
POWDERCOATED BIKE RACK
PARKING LOT POLE LIGHT
PEDESTRIAN POLE LIGHT
BOLLARD LIGHT

NOTES

- THIS PLAN IS BASED ON A SURVEY BY TERRACALC LAND SURVEYING, INC., DATED OCTOBER 22, 2020. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
- COORDINATE WORK WITH OTHER TRADES, INCLUDING RIGHT-OF-WAY PACKAGE.
- SEE CIVIL FOR UNDERGROUND UTILITIES INCLUDING DESIGN OF STORMWATER PLANTERS.
- SEE CIVIL FOR ALL VEHICULAR IMPROVEMENTS AND ADDITIONAL IMPROVEMENTS WITHIN THE RIGHT-OF-WAY INCLUDING PAVING AND SIGNAGE.
- ALL PEDESTRIAN CONCRETE PAVING TO RECEIVE MEDIUM BROOM FINISH UNLESS OTHERWISE NOTED.
- ALL PEDESTRIAN CONCRETE CONTROL JOINTS TO BE 1" DEPTH (MIN 1") OF CONCRETE, TOOLED, WITH NO TOOL MARKS REMAINING.
- ALL PLANTING AREAS TO BE IRRIGATED WITH A PERMANENT UNDERGROUND IRRIGATION SYSTEM. SLEEVES TO BE INSTALLED UNDER PAVING AND THROUGH PLANTER WALLS AS REQUIRED.

17.8.205 C2 REQUIRED RECREATIONAL AREA = 10%

TOTAL SITE AREA = 70,812 SF

TOTAL SITE AREA EXCLUDING VEHICULAR CURBS, DRIVEWAYS AND SURFACES WITHIN PARKING LOT = LOT AREA = 53,339 SF

REQUIRED OUTDOOR RECREATION AREA = 10% OF LOT AREA

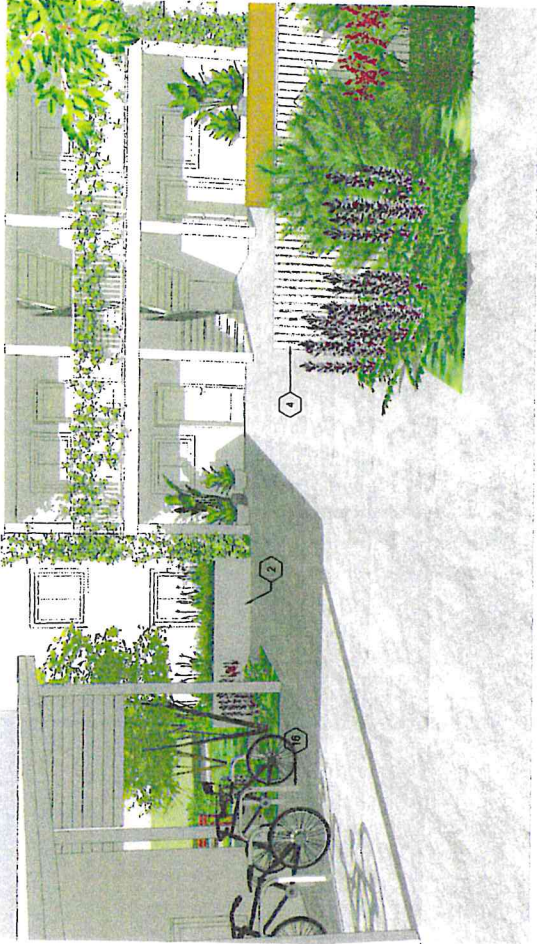
TOTAL PROVIDED OUTDOOR RECREATION AREA = 7,873 SF = 14.7%

ABBREVIATIONS

ARCH	ARCHITECTURAL DRAWING:
CAL	GALIPER
CIP	CAST-IN-PLACE CONCRETE
CONC	CONCRETE
EX	EXISTING
FP	STORMWATER FLOW-THROUGH PLANTER
HT	HEIGHT
MIN	MINIMUM
PA	PLANTING AREA
SIM	SIMILAR TO
TBD	TO BE DETERMINED
TYP	TYPICAL
W/	WITH

Habitat L
LANDSCAPE ARCHITECT

- MATERIALS PERSPECTIVES GENERAL NOTES**
1. SEE SHEET L2.01 FOR KEYNOTE LEGEND
 2. BUILDINGS SHOWN ARE FOR REFERENCE ONLY. SEE ARCH FOR LATEST BUILDING DESIGNS.
 3. SEE SHEET L2.01 FOR KEYNOTE LEGEND AND MATERIALS NOTES.
 4. PLANTING DESIGN TO INCORPORATE TREES AND SHRUBS THROUGHOUT FOR VISIBILITY THROUGHOUT SITE.
 5. ALL MAIN ENTRANCES TO BE VISIBLE FROM MULTIPLE DIRECTIONS.
 6. ALL BENCHES, PICNIC TABLES, AND BIKE RACKS TO BE SURFACE-MOUNTED WITH TAMPER-RESISTANT BOLTS.



1 MATERIALS EXAMPLES - ENTRY / EVENT PLAZA

SEE L2.01 FOR KEYNOTE LEGEND



2 MATERIALS EXAMPLES - INFORMAL SOCCER FIELD

SEE L2.01 FOR KEYNOTE LEGEND



3 MATERIALS EXAMPLES - COMMUNITY SEATING AREA

SEE L2.01 FOR KEYNOTE LEGEND



4 MATERIALS EXAMPLES - PLAY AREA AND PICNIC AREA

SEE L2.01 FOR KEYNOTE LEGEND

26TH AVENUE

A STREET

PLANTING PLAN

SCALE 1/16"=1'-0"

7.4.215 K MINIMUM OPEN SPACE FOR PLANNED DEVELOPMENT = 20%

IP TO 1 REQUIRED OPEN SPACE MAY INCLUDE PEDESTRIAN AMENITIES SUCH AS PLAZAS, WALKWAYS, AND SEATING
TOTAL SITE AREA = 70,612 SF
TOTAL PLANTED AREA WITHIN SITE (NOT INCLUDING COMMUNITY GARDEN) = 23,783 SF = 33.7% OF SITE
TOTAL COMMUNITY GARDEN AREA SOFT SURFACES AND PLANTERS = 1,174 SF = 1.7% OF SITE
TOTAL HARD SURFACE PEDESTRIAN AMENITIES INCLUDING PATHWAYS, PLAZAS, AND PLAY AREA
12,403 SF = 17.6% OF SITE
TOTAL OPEN SPACE = 37,360 SF = 53% OF SITE

7.8.415 E REQUIRED INTERIOR PARKING LOT PLANTING = 8%

AREA FOR VEHICULAR USE FOR PARKING LOT CALCULATIONS = 20,338 SF
TOTAL INTERIOR PARKING LOT PLANTING = 3,110 SF = 15%
EQUIRED 1 TREE PER 1,600 SF PARKING LOT AREA = 13 TREES
ROVIDED TREES WITHIN PARKING LOT = 13 TREES

LEGEND

- PROPERTY LINE
- PARKING LOT CALCULATION AREA
- BOUNDARY
- FENCE
- EXISTING TREE TO BE PROTECTED
- PARKING LOT POLE LIGHT
- PEDESTRIAN POLE LIGHT
- BOLLARD LIGHT
- TRANSFORMER, SEE NOTE 11

NOTES

- SEE SHEET L3.02 FOR PLANT SCHEDULE.
- THIS PLAN IS BASED ON A SURVEY BY TERRACALC LAND SURVEYING, INC. DATED OCTOBER 22, 2020. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
- COORDINATE WORK WITH OTHER TRADES, INCLUDING RIGHT-OF-WAY PACKAGE.
- SEE CIVIL FOR ALL VEHICULAR UTILITIES INCLUDING DESIGN OF STORMWATER PLANTERS AND CALCULATIONS.
- SEE CIVIL FOR ALL VEHICULAR IMPROVEMENTS AND ADDITIONAL IMPROVEMENTS WITHIN THE RIGHT-OF-WAY INCLUDING PAVING AND SIGNAGE.
- ALL SHRUBS AND GROUNDCOVER TO BE GROWN IN CONTAINERS, MEETING AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) Z60.1, "AMERICAN STANDARDS FOR NURSERY STOCK" LATEST EDITION, REQUIREMENTS.
- ALL PLANTING AREAS TO BE IRRIGATED WITH PERMANENT UNDERGROUND IRRIGATION SYSTEM.
- NON-STORMWATER PLANTING TO HAVE IMPORT TOPSOIL, LANDSCAPE BLEND #2 BY PRO-GRO, MIN 3" DEPTH IN ALL AREAS W/TREES AND SPECIMEN SHRUBS, MIN 2" DEPTH ALL OTHER AREAS.
- ALL STORMWATER FLOW THROUGH PLANTERS TO HAVE MINIMUM 30" INTERIOR WIDTH AND SOIL TO MEET CWS STANDARDS.
- ALL TREES WITHIN THE RIGHT-OF-WAY AND PARKING LOT TO HAVE MIN 6' CLEAR HEIGHT TO LOWEST BRANCHES.
- ALL TRANSFORMERS LOCATED ON SITE TO BE SCREENED ON THREE NON-ACCESS SIDES BY EVERGREEN PLANTS EQUAL OR GREATER TO HEIGHT OF EQUIPMENT. LOW GROUND COVER TO BE PLANTED ON ACCESS SIDE. FINAL LOCATION TO BE DETERMINED. SEE ADD.

ABBREVIATIONS

- | | |
|------|------------------------------------|
| ADLA | AS DIRECTED BY LANDSCAPE ARCHITECT |
| B48 | BALD & BURLAP |
| CAL | CALIFORNIA |
| CONC | CONCRETE |
| CONT | CONTAINER |
| DIA | DIAMETER |
| EX | EXISTING |
| HT | HEIGHT |
| MIN | MINIMUM |
| SIM | SIMILAR TO |
| TBD | TO BE DETERMINED |
| TYP | TYPICAL |
| W/ | WITH |
| # | CONTAINER SIZE |

Habitat
Landscape Archi

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / COND	SPACING
TREES				
	ACER GINALLA	AMUR MAPLE	2" CAL. B&B MULTI-TRUNK	AS SHOWN
	GINGKO BILOBA 'HALKA'	HALKA GINKO	3" CAL. B&B	AS SHOWN
	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	3" CAL. B&B	AS SHOWN
	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	3" CAL. B&B	AS SHOWN
	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	3" CAL. B&B	AS SHOWN
SPECIMEN SHRUBS				
	ACER CIRCINATUM	VINE MAPLE	MIN. 6' HT / CONT	AS SHOWN
	ARBUTUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	#5, CONT	AS SHOWN
	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	#5, CONT	AS SHOWN
INTERIOR PARKING LOT PLANTING				
	EUONYMUS JAPONICUS 'MICROPHYLLUS'	BOX LEAF EUONYMUS	#3, CONT	30" OC
	HESPERALOE PARVIFLORA 'BRAKELIGHTS'	BRAKELIGHTS RED YUCCA	#1, CONT	18" OC
	LIRIOPE SPICATA	CREeping LILYTURF	#1, CONT	18" OC
	PINUS MUGO 'SLOWMOUND'	DWARF MUGO PINE	#5, CONT	36" OC
	SEDUM RUPESTRE 'ANGELINA'	ANGELINA SEDUM	#1, CONT	12" OC
PERIMETER PARKING LOT PLANTING				
	LIRIOPE SPICATA	CREeping LILYTURF	#1, CONT	12" OC
STORMWATER FLOW-THROUGH PLANTERS				
	CAMASSIA LEICHTLINII	GIANT CAMAS	BULB (150)	ADLA
	CAMASSIA QUAMASH	COMMON CAMAS	BULB (100)	ADLA
	JUNCUS EFFRUSUS VAR. PACIFICUS	SOFT RUSH	#1, CONT	12" OC
	JUNCUS ENSIFOLIUS	DAGGER LEAF RUSH	#1, CONT	12" OC
	JUNCUS PATENS	SPREADING RUSH	#1, CONT	12" OC
ORNAMENTAL SHRUBS AND GROUND COVER				
	ACANTHUS MOLLIS	BEAR'S BREECES	#1, CONT	30" OC
	ARCTOSTAPHYLOS COLUMBIANA 'OREGON HYBRID'	OREGON HYBRID MANZANITA	#5, CONT	36" OC
	EUONYMUS JAPONICUS 'MICROPHYLLUS'	BOX LEAF EUONYMUS	#3, CONT	30" OC
	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	#1, CONT	12" OC
	HELLEBORUS X HYBRIDUS 'APRICOT BLUSH'	APRICOT BLUSH LENTEN ROSE	#1, CONT	18" OC
	HESPERALOE PARVIFLORA 'BRAKELIGHTS'	BRAKELIGHTS RED YUCCA	#1, CONT	18" OC
	LIRIOPE MUSCARI	LILYTURF	#1, CONT	12" OC
	PINUS MUGO 'PUMILIO'	DWARF MUGO PINE	#5, CONT	36" OC
	POLYSTICHUM MUNITUM	SWORD FERN	#1, CONT	30" OC
	SEDUM RUPESTRE 'ANGELINA'	ANGELINA SEDUM	#1, CONT	12" OC
VINES				
	ACTINIDIA ARGUTA 'ISSAI'	HARDY KIWI VINE	#1, CONT	ADLA
	AKEBIA QUINATA	CHOCOLATE VINE	#1, CONT	ADLA
	FIGUS CARICA 'BROWN TURKEY'	BROWN TURKEY FIG	#1, CONT	ADLA
INFORMAL ATHLETIC TURF				
	PT 301 WATER SMARTER TALL FESCUE BLEND BY PRO TIME		RATE: 10 LBS / 1,000 SF	
LAWN				
	PT 305 SHADE / SUN MIX BY PRO TIME LAWN SEED		RATE: 9 LBS / 1,000 SF	
	CROCUS SIEBERI 'STUNNER'	STUNNER CROCUS	BULB (100)	ADLA

PRELIMINARY
NOT FOR
CONSTRUCTION



CARLETON HART ARCHITECTURE P.C.
503 243 2252
503 NW 101th Avenue #200 Portland, OR 97205
www.carletonhart.com

PRELIMINARY PLAN / DESIGN REVIEW
FOREST GROVE, OR 97116
2525 A ST.
FOREST GROVE FAMILY HOUSING

PLANT SCHEDULE

PROJECT NO.
20009

02.08.21

REVISIONS: /

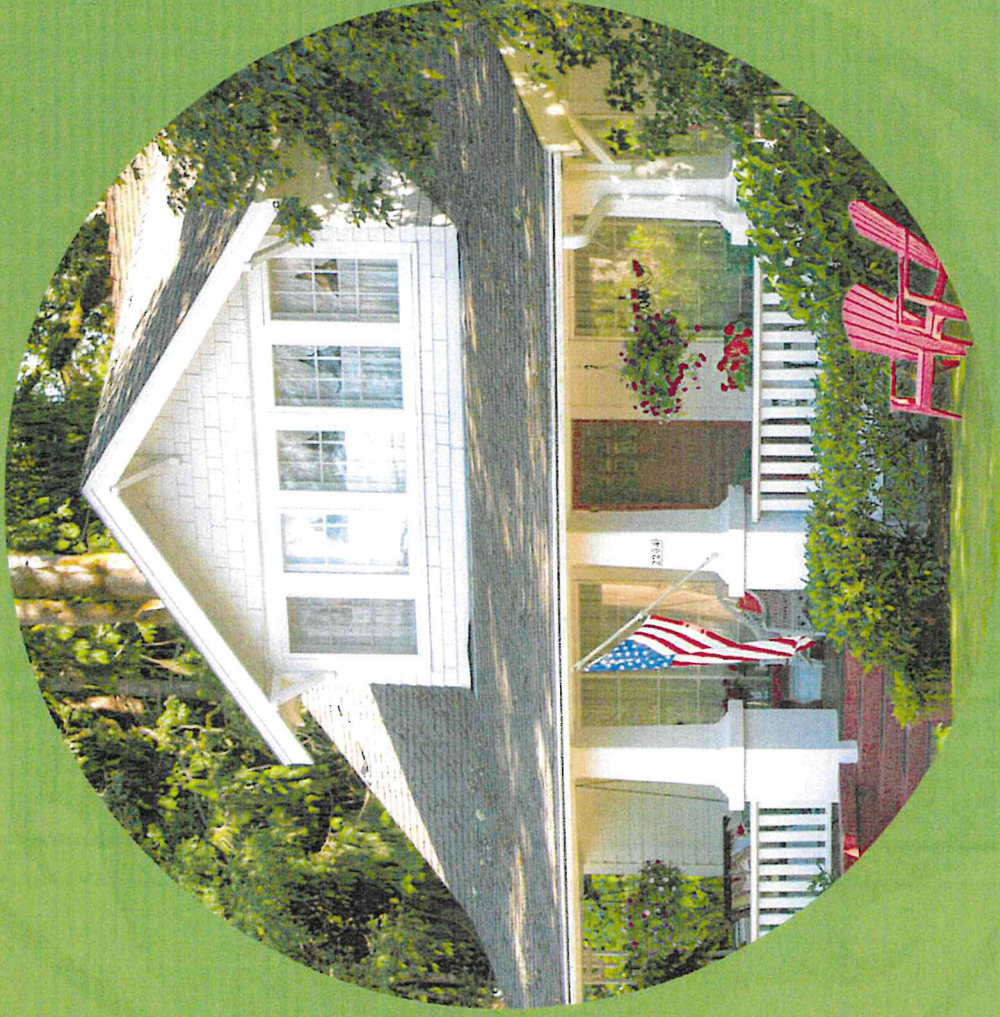
Habitat LAB

L3.02

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HABITAT LAB ARCHITECTURE P.C. 503 243 2252
503 NW 101th Avenue #200 Portland, OR 97205
www.habitatlab.com

EXHIBIT B

Power Point

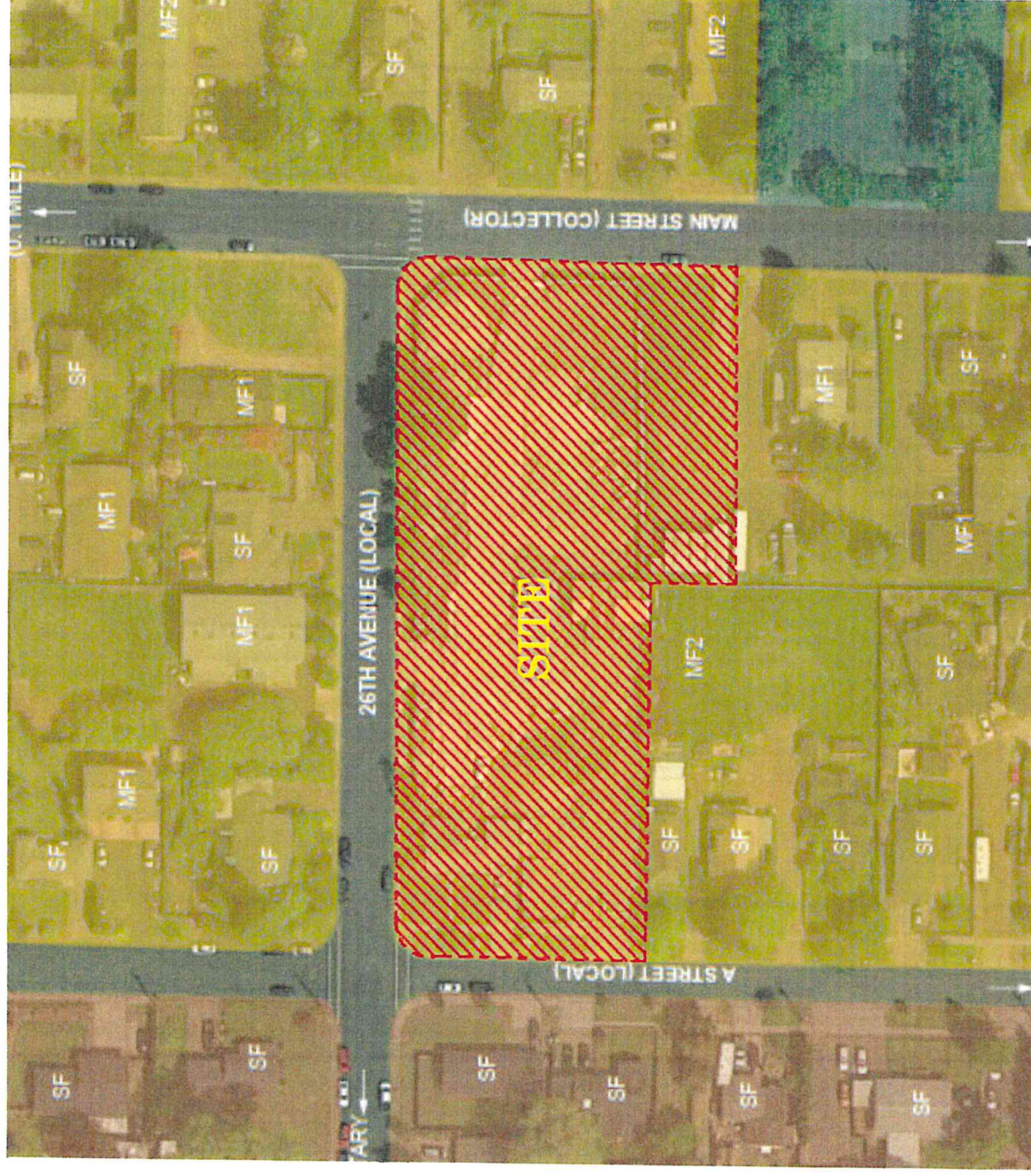


Forest Grove Family Housing Apartments - Site & Design Review

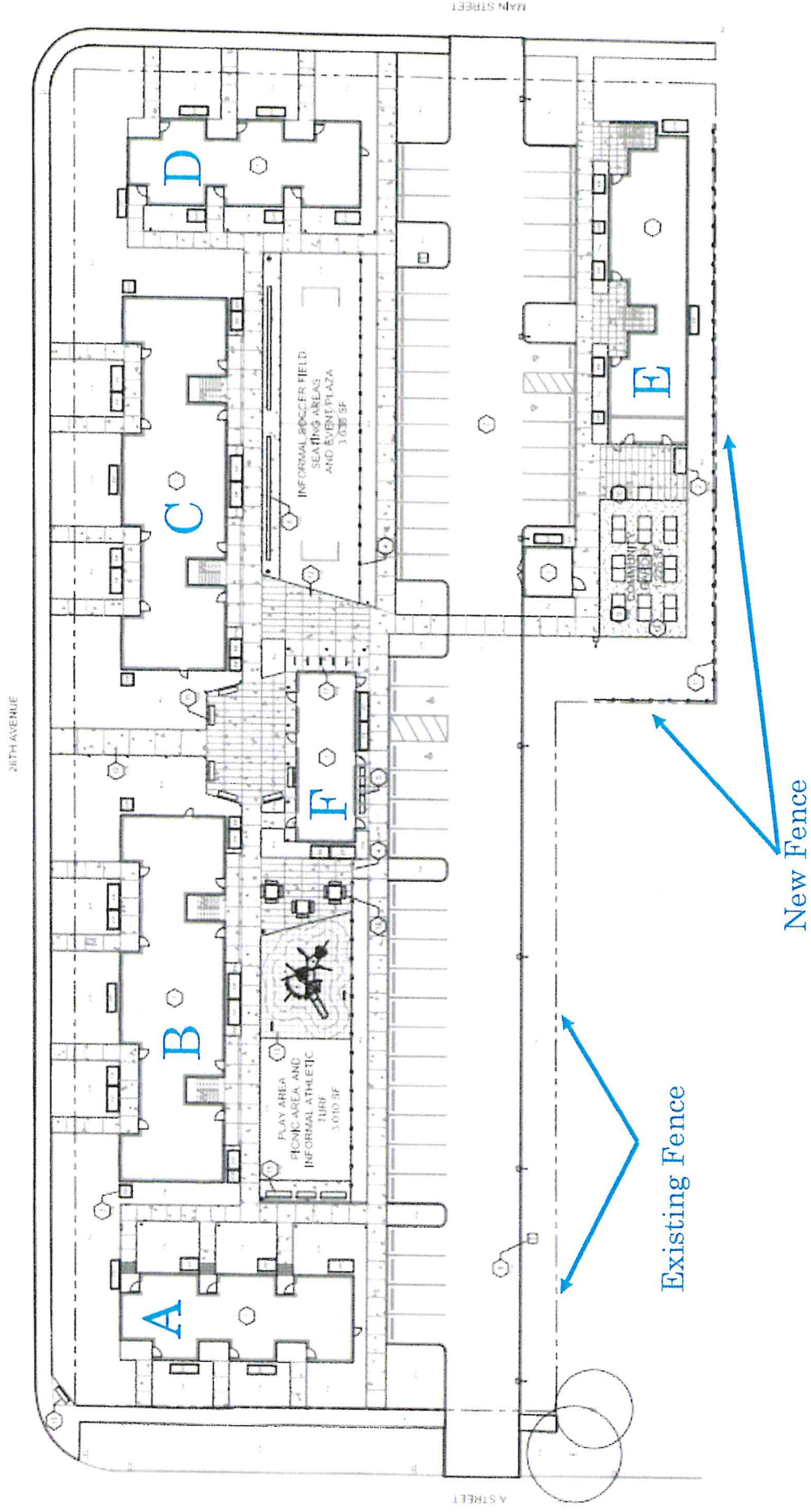
James Reitz, AICP
Senior Planner

04/05/21

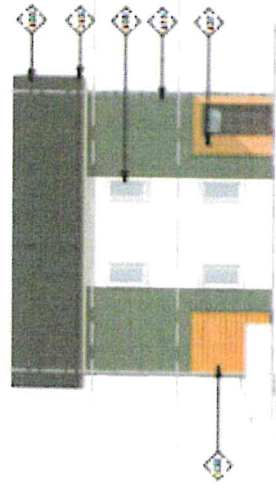
Aerial View – Site & Vicinity



Site Plan

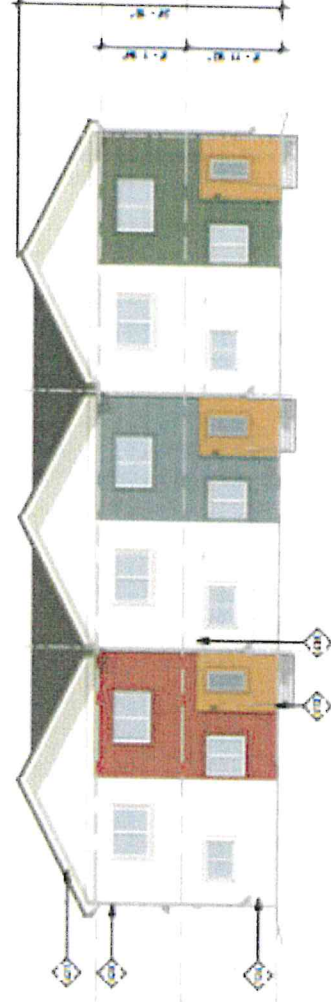


Building Elevations

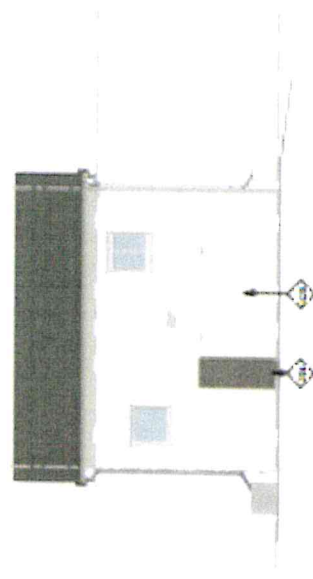


① BUILDING A - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

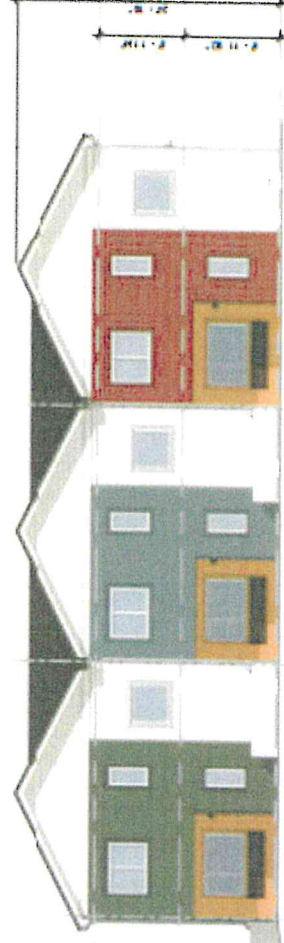
26th Avenue Façade



② BUILDING A - EAST ELEVATION
SCALE: 1/8" = 1'-0"



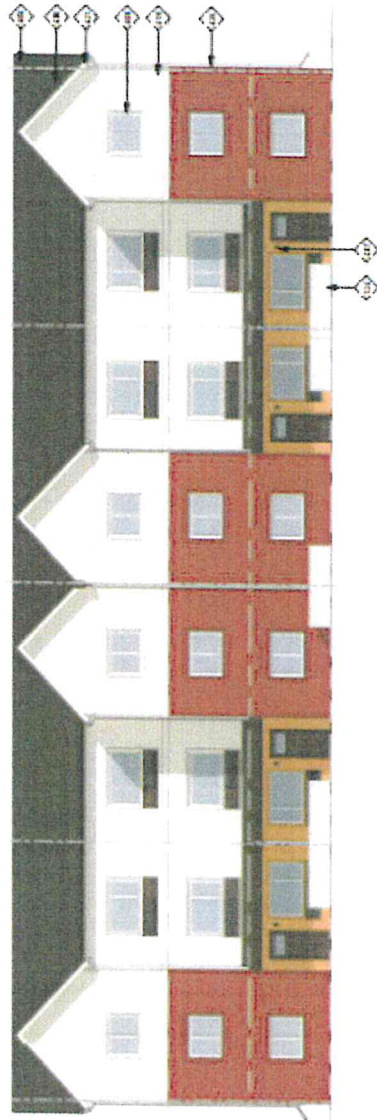
③ BUILDING A - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



④ BUILDING A - WEST ELEVATION
SCALE: 1/8" = 1'-0"

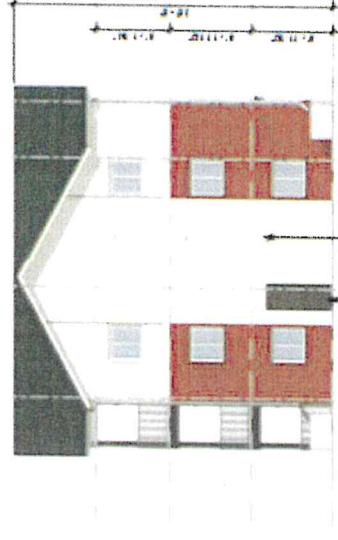
"A" Street Façade

Building Elevations

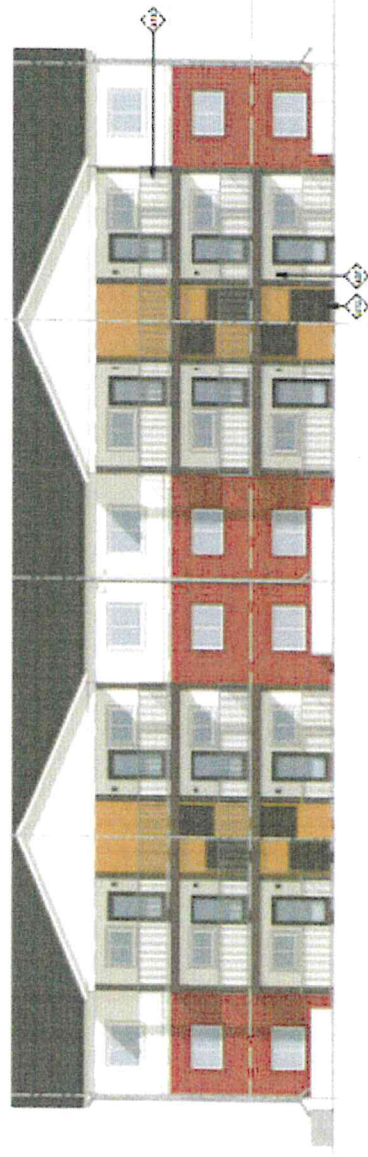


① BUILDING B - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

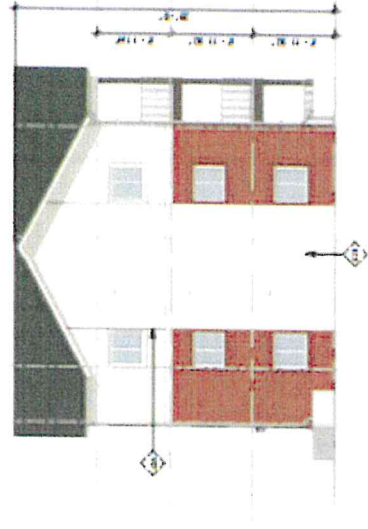
26th Avenue Facade



② BUILDING B - EAST ELEVATION
SCALE: 1/8" = 1'-0"

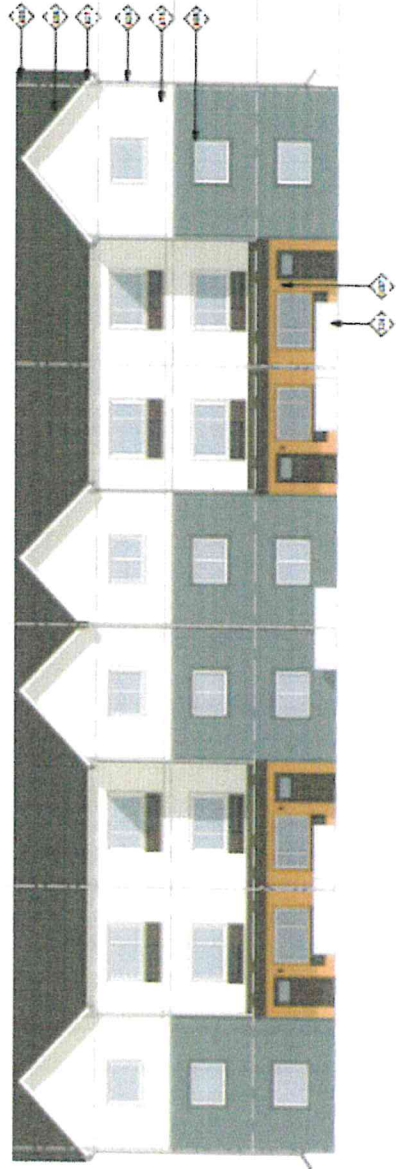


③ BUILDING B - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



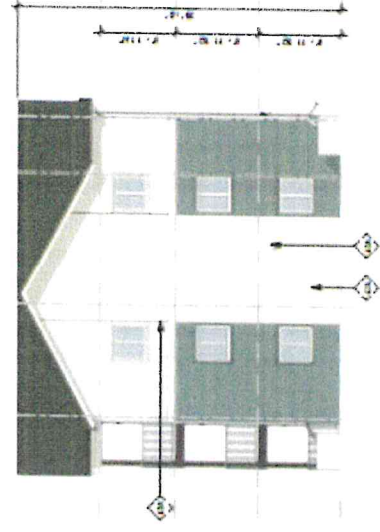
④ BUILDING B - WEST ELEVATION
SCALE: 1/8" = 1'-0"

Building Elevations



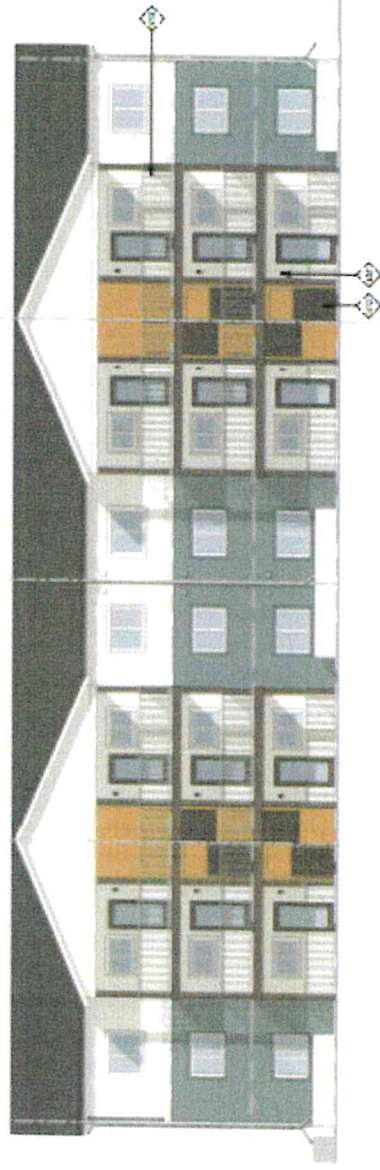
① BUILDING C - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

26th Avenue Facade

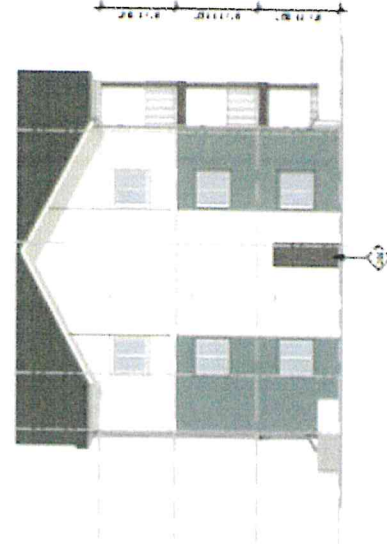


② BUILDING C - EAST ELEVATION
SCALE: 1/8" = 1'-0"

Main Street Facade

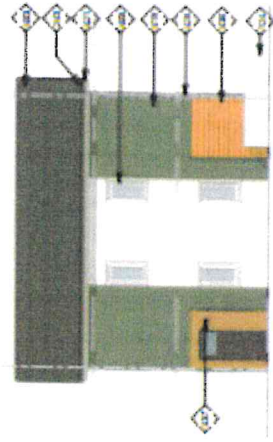


③ BUILDING C - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

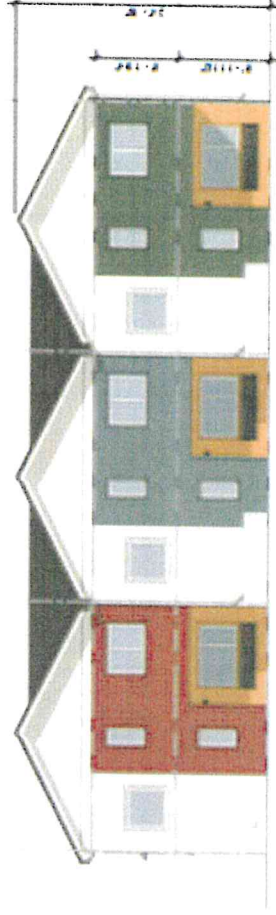


④ BUILDING C - WEST ELEVATION
SCALE: 1/8" = 1'-0"

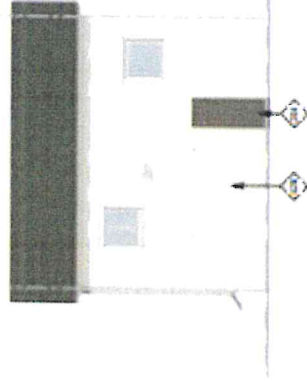
Building Elevations



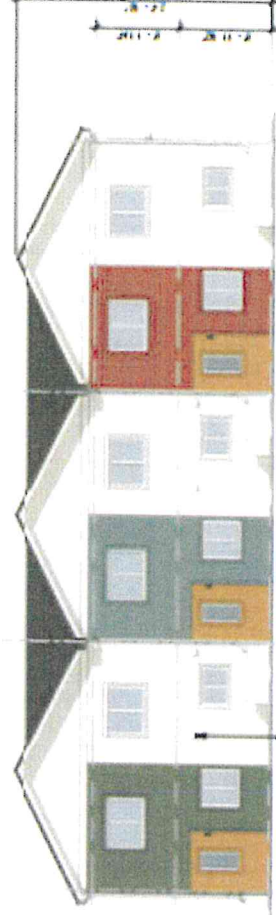
1) BUILDING D - NORTH ELEVATION
SCALE: 1/8" = 1'-0"
26th Avenue Facade



2) BUILDING D - ELEVATION EAST
SCALE: 1/8" = 1'-0"
Main Street Facade

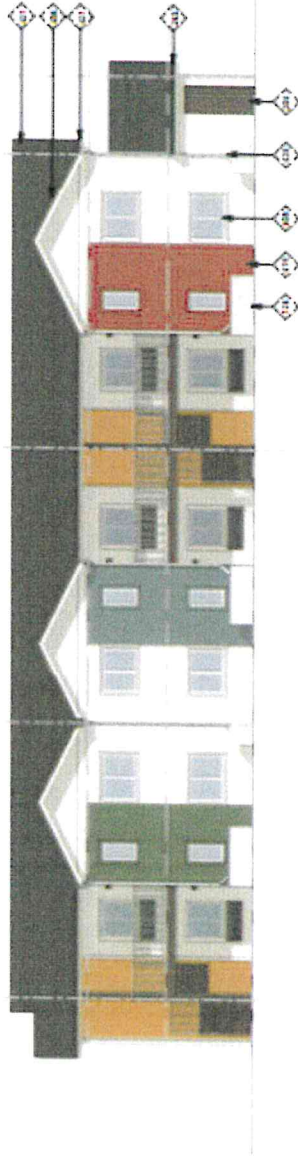


3) BUILDING D - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

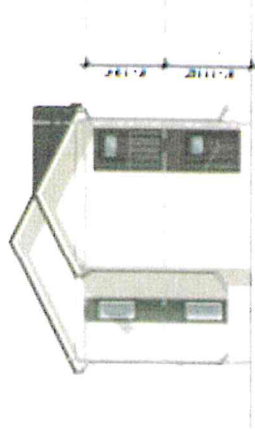


4) BUILDING D - WEST ELEVATION
SCALE: 1/8" = 1'-0"

Building Elevations

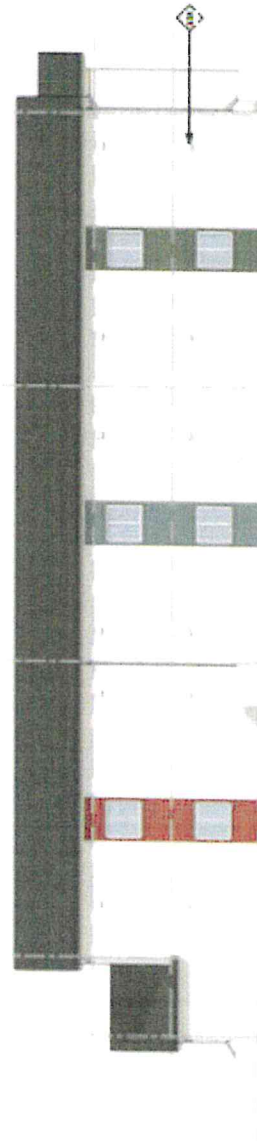


① BUILDING E - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

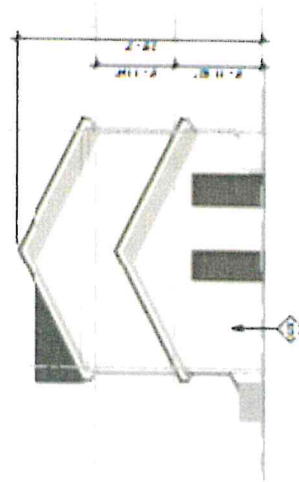


② BUILDING E - EAST ELEVATION
SCALE: 3/8" = 1'-0"

Main Street Facade



③ BUILDING E - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



④ BUILDING E - WEST ELEVATION
SCALE: 3/8" = 1'-0"

100

SCALE: 100 • 100



SCALE: 100' = 1"

26th Avenue Facade

SCALE 100 = 1.0"



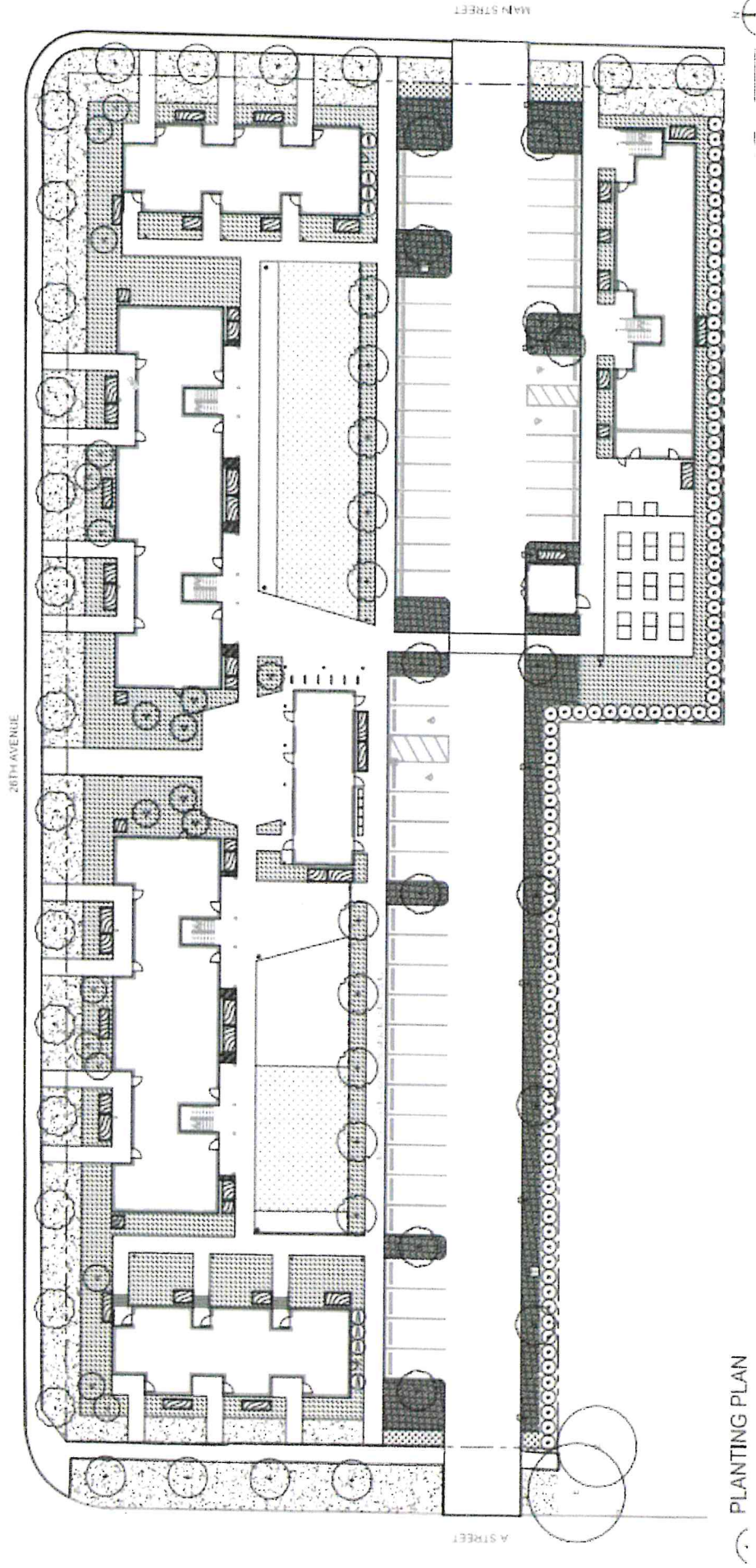
SCALE: 10" = 1'-0"



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Landscape Plan



Recommendation

Staff recommends approval of the site plan and design review permit for the Forest Grove Family Housing Apartments at 2524 Main Street with these conditions:

1. The applicant is bound to the project description and all representations made by the applicant during the application and decision-making proceeding.
2. The applicant shall comply with all applicable City building and development standards, including all dimensional standards and public works specifications.

Optional Condition:

Narrow the drive aisle to 20 feet, and shift Building E north 3 feet.

EXHIBIT C – DEVELOPMENT CODE STANDARDS & SPECIFICATIONS

- 1) The applicant shall comply with all applicable City building and development standards, including all dimensional standards and public works specifications.
- 2) Submit a copy of the recorded survey and legal description for the lot consolidation prior to requesting building permits (DC §17.6.040 *Recording Requirements*).
- 3) All signage (including but not limited to, street names, vehicular parking restrictions, and vehicular and pedestrian traffic protection and direction) for public rights-of-way and easements; pavement striping and marking; and pavement reflectors (including, but not limited to, blue fire hydrant markers), shall be shown on the approved plans and installed by the developer. To minimize conflict with driveway locations and street trees, signs shall be attached to light poles wherever possible (DC §17.8.525 *Design Standards*).
- 4) A 10-foot-wide public utility and sidewalk easement shall be denoted along the front lines of the parcel. Additional easements as necessary shall be granted for the installation of electrical distribution facilities e.g. transformers, junction boxes, etc. (DC §17.8.615 *Easements*).
- 5) All utility connections shall be underground (DC §17.8.645(A) *Underground Utilities*).
- 6) All lighting shall comply with the provisions of DC §17.8.755(C) *Pedestrian Lighting Standards* and §17.8.755(D) *Lighting Standards for Multi-Unit Development*.

EXHIBIT D - ENGINEERING DEPARTMENT STANDARDS & SPECIFICATIONS

- 7) Developer to construct a curb ramp on the east side of Main Street. This improvement is eligible for TDT credits.
- 8) Developer shall replace the defective 26th Avenue and Main Street sidewalks adjacent to the site (FGC §151.005 *Repair of Sidewalks by Adjacent Property Owners*). Curb-tight sidewalks shall be pinned or doweled to the curb to prevent subsidence.
- 9) Developer shall submit a drainage report per Clean Water Services (CWS) Design and Construction (D&C) Standards Chapter Section 2.04.2.m.
- 10) Developer shall provide storm water detention and treatment facilities per CWS D&C Chapter 4, and shall submit a copy of the CWS storm water connection permit.

EXHIBIT E - FIRE DEPARTMENT STANDARDS & SPECIFICATIONS

- 11) Install an address and identification sign at the Main Street driveway (DC §17.8.830(B) *Residential Signs* and FGC §150.098 *House Numbers*).
- 12) Each building shall be identified with digits at least 8 inches tall that contrasts with the background; numbers shall be posted facing both the street and the car park. Individual unit numbers shall be at least 4 inches in height and contrast with the background (FGC §150.098 *House Numbers*).

EXHIBIT F - LIGHT & POWER DEPARTMENT STANDARDS & SPECIFICATIONS

- 13) Provide a CAD file of the site plan (including wet utilities).
- 14) Electrical loading and demand will need to be provided by the developer.
- 15) All lighting within the complex shall be customer-owned and will need to be designed by the developer.
- 16) The developer will be responsible for labor and material costs minus a credit allowance (TBD).
- 17) The developer will be responsible for providing and installing all vaults and conduits.
- 18) A minimum distance of 8 feet shall be maintained between electrical transformers and any combustible structure, overhang, window or door. Consult Forest Grove Light and Power Department Electrical Service Requirements & Guidelines §1.09 *Clearances from Utility Equipment* and National Electrical Safety Code (NESC) Rule 012C for additional clearances and information.

EXHIBIT G

Correspondence

18 March 2021

2439 A Street
Forest Grove, OR 97116

James Reitz, Senior Planner
P.O. Box 326
1924 Council Street
Forest Grove, OR 97116

RECEIVED

MAR 24 2021

City of Forest Grove

Dear Mr. Reitz,

Yesterday we received the Notice of Public Hearing regarding the 36 Unit Apartment Complex development at 2524 Main St., Forest Grove.

We have several concerns:

1. How will the additional traffic flow coming from the proposed complex to A Street be addressed?
2. A Street is already narrow and there's not a lot of room when there are parked cars there. Will A Street be widened? Will street parking be prohibited? When cars are parked on A Street, it becomes too narrow for both directions of travel. We're very concerned about this.
3. Given the project's proximity to Harvey Clark Elementary School and Pacific University, will there be modifications to parking regulations on A Street so that both North and South bound cars continue moving? (There's already quite a bit of traffic at the school at the beginning and the end of the school day.)
4. We are aware of car vs. car accidents here on A Street related to the lack of lane space.

Best regards,

Mario